



# OFFICE OF THE SHERIFF

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**Chad Chronister, Sheriff**  
**Donna Lusczynski, Chief Deputy**  
*Hillsborough County, Florida*

July 9, 2019

**SUBJECT:** Amendment #1 to RFP 13-19 Falkenburg Road Jail Building #14 and Housing Unit #2 Partial Roof Replacement

**MESSAGE:** Please note and acknowledge the following changes or additions to be included in the referenced section(s) of RFP 13-19:

1. Amendment to Exhibit A – JVB Architect Roof Renovation Design Documents are posted as Exhibit A, Amendment #1 Design Documents:

The following drawings have been revised, and are included:

- 1) A-002 Existing/Demo Roof Plan Building 14
- 2) A-003 Existing/Demo Roof Plan Building 2
- 3) A-101 Roof Plan Building 14
- 4) A-102 Roof Plan Building 2

Please note that this document hereby becomes part of RFP 13-19 and without this document, the RFP is considered incomplete.

Sincerely,

A handwritten signature in blue ink, appearing to read "Christina R. Porter".

Christina R. Porter, CPA  
Chief Financial Officer

CRP/dtj

Enclosures

ACKNOWLEDGEMENT OF AMENDMENT

We do hereby acknowledge the information and/or changes described in the  
Amendment #1 to Bid 13-19.

PLEASE PRINT – Company Name: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

*Signature:* \_\_\_\_\_

(Signed Acknowledgement must be included with your Proposal Response)

# JVB ARCHITECT, LLC

ARCHITECTURE ■ PLANNING ■ INTERIORS

## *RFP 13-19 Falkenburg Road Jail Building #14 and Housing Unit #2 Partial Roof Replacement Amendment #1*

PROJECT NAME: HILLSBOROUGH COUNTY SHERIFF'S OFFICE  
ROOF RENOVATION  
520 N. Falkenburg Road  
Tampa, FL 33619

DATE: 7-8-2019

JVB

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To: ALL PROPOSERS

### ARCHITECTURAL REVISIONS:

**Clarifications:** The following updated drawings dated 7-8-2019 have been modified as follows below to provide clarifications on questions/concerns brought to our attention at the Pre-Bid meeting.

#### **A-002 EXISTING/DEMO ROOF PLAN BUILDING 14:**

1. Existing roof insulation thickness has been added to Existing/Demo Roof Plan (North)  
Existing roof insulation thickness has been added to Existing/Demo Roof Plan (South)
2. Note #11 of the "Demolition General Notes", added "Owner to provide letter of recertification for lighting protection system as required".
3. Note #3 of the "Keynote Legend", added "Uninstall and reinstall at same locations, as needed".
4. Note #7 of the "Keynote Legend", replaced "Remove existing flashing" with "Provide new skirt flashing around existing curb flashing".

#### **A-003 EXISTING/DEMO ROOF PLAN BUILDING 2:**

1. Existing roof insulation thickness has been added to Existing/Demo Roof Plan (West)  
Existing roof insulation thickness has been added to Existing/Demo Roof Plan (East)  
Existing roof insulation thickness has been added to Existing/Demo Roof (Cueing Area)
2. Note #11 of the "Demolition General Notes", added "Owner to provide letter of recertification for lighting protection system as required".
3. Note #3 of the "Keynote Legend", added "Uninstall and reinstall at same locations, as needed".

#### **A-101 ROOF PLAN BUILDING 14:**

1. Note #14 of the "Keynote Legend", updated to the following: "New Cricket Area to be achieved with tapered insulation, typ. Maintain a minimum of 8" height at existing parapet. If unable to maintain 8" minimum height after crickets, wrap roofing membrane over existing parapet and provide roof drip edge.
2. Tags have been added throughout the floor plans pointing to various roof details to identify different typical roof conditions.
3. Angled parapet locations have been identified.
4. Sloping directions of existing metal roofs have been identified.

#### **A-102 ROOF PLAN BUILDING 2:**

1. Tags have been added throughout the floor plans pointing to various roof details to identify different typical roof conditions.
2. Angled parapet locations have been identified.
3. Sloping directions of existing metal roofs have been identified.



# HILLSBOROUGH COUNTY SHERIFF'S OFFICE ROOF RENOVATION 520 N Falkenburg Road Tampa, Florida 33619

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JVB ARCHITECT, LLC  
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1	FINAL OWNER REVIEW SET	7-8-2019
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**REVISIONS** ▲

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**PROJECT TEAM:**

**ARCHITECT:**  
JVB ARCHITECT, LLC  
1719 N. HOWARD AVENUE SUITE 201  
TAMPA, FLORIDA 33607  
PHONE: 813-258-3233  
FAX: 813-258-3236  
E-MAIL: NELSON@JVBARCHITECT.COM  
CONTACT: NELSON ITURBIDES

**ENERGY CONSERVATION**

CH 4 - COMMERCIAL ENERGY EFFICIENCY  
CLIMATE ZONE 2 (HILLSBOROUGH COUNTY)

**BUILDING ENVELOPE SYSTEM**

COMPONENT	VALUE
ROOF R-VALUE	R-25
WALL R-VALUE (MASONRY)	R-5.1

**PROJECT SCOPE:**

THE PROJECT IS LIMITED TO NEW ROOF INSTALLATION. THE EXISTING BUILDING OCCUPANCY CLASSIFICATION, FIRE PROTECTION ELEMENTS, MEANS OF EGRESS, ACCESSIBILITY FEATURES AND SPATIAL LAYOUT WILL REMAIN. NO LIFE SAFETY FEATURES WILL BE DIMINISHED. THE PROJECT SCOPE ELEMENTS ARE GENERALLY DESCRIBED AS FOLLOWS:

- INSTALLATION OF A NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.
- REMOVAL AND REPLACEMENT OF THE ROOFING MEMBRANE SYSTEM, ALONG WITH THE INSULATION, AT PORTION OF ROOF ON GUTTER SIDE OF WEST BUILDING 2.
- REMOVAL AND REPLACEMENT OF THE FLASHING.
- REMOVAL AND REINSTALLATION OF ROOFTOP MECHANICAL SYSTEMS AND EQUIPMENT AS REQUIRED FOR NEW ROOF MEMBRANE INSTALLATION.
- REMOVAL OF SIX UNUSED ROOF STANDS ON BUILDING 14, SOUTH ROOFING.

**BUILDING INFO**

BUILDING TYPE: II-B  
FIRE PROTECTION: BUILDING IS FULLY SPRINKLERED  
OCCUPANCY TYPE: INSTITUTIONAL (I-3)  
ROOF AREAS:  
ROOF BUILDING 2  
WEST - 2,395 SF (VIF)  
EAST - 2,400 SF (VIF)  
ROOF BUILDING 14  
NORTH - 1,835 SF (VIF)  
SOUTH - 3,470 SF (VIF)

**CODES - STATE OF FLORIDA**

FBC - FLORIDA BUILDING CODES 6TH EDITION (2017):  
BUILDING CODE  
EXISTING BUILDING CODE  
MECHANICAL CODE  
PLUMBING CODE  
NEC - NATIONAL ELECTRIC CODE 2014 EDITION

**SHEET INDEX**

REV No.	SHEET No.	
ARCHITECTURAL		
A-001		TITLE SHEET, CODE INFORMATION & APPROVALS
A-002		EXISTING ROOF PLAN BUILDING 14
A-003		EXISTING ROOF PLAN BUILDING 2
A-101		ROOF PLAN BUILDING 14
A-102		ROOF PLAN BUILDING 2
A-103		ROOF PHOTOS NORTH OF BUILDING 14
A-104		ROOF PHOTOS SOUTH OF BUILDING 14
A-105		ROOF PHOTOS SOUTH OF BUILDING 14
A-106		ROOF PHOTOS WEST OF BUILDING 2
A-107		ROOF PHOTOS EAST OF BUILDING 2
A-108		TYPICAL ROOF DETAILS
A-109		TYPICAL ROOF DETAILS

**WIND CHART**

The information below was calculated using the provisions of the 2017 Florida Building Code.

**Floor and Roof Live Loads**

Cell Blocks:	40 psf
Corridors:	100 psf
Roof Live Loads:	
Roofs:	20 psf uniform; 300 lbs concentrated

**Wind Design Data**

Ultimate Wind Speed:	140 mph	Nominal Wind Speed:	108 mph
Risk Category:	II	Wind Exposure:	B
Enclosure Classification:	Enclosed	End Zone Width:	4.10 ft.
Internal Pressure Coefficient:	0.18 +/-		

Components and Cladding Design Pressures	Roof Zone 1:	Roof Zone 2:	Roof Zone 3:	Roof at Zone 2 Overhangs:	Roof at Zone 3 Overhangs:	Wall Zone 4:	Wall Zone 5:
	+16.0 psf max., -35.3 psf min.	+16.0 psf max., -59.2 psf min.	+16.0 psf max., -89.0 psf min.	-50.8 psf min.	-83.7 psf min.	+35.3 psf max., -38.2 psf min.	+35.3 psf max., -47.2 psf min.

The Ultimate Wind Speed was used to determine the above Component and Cladding Design Pressures.

All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.

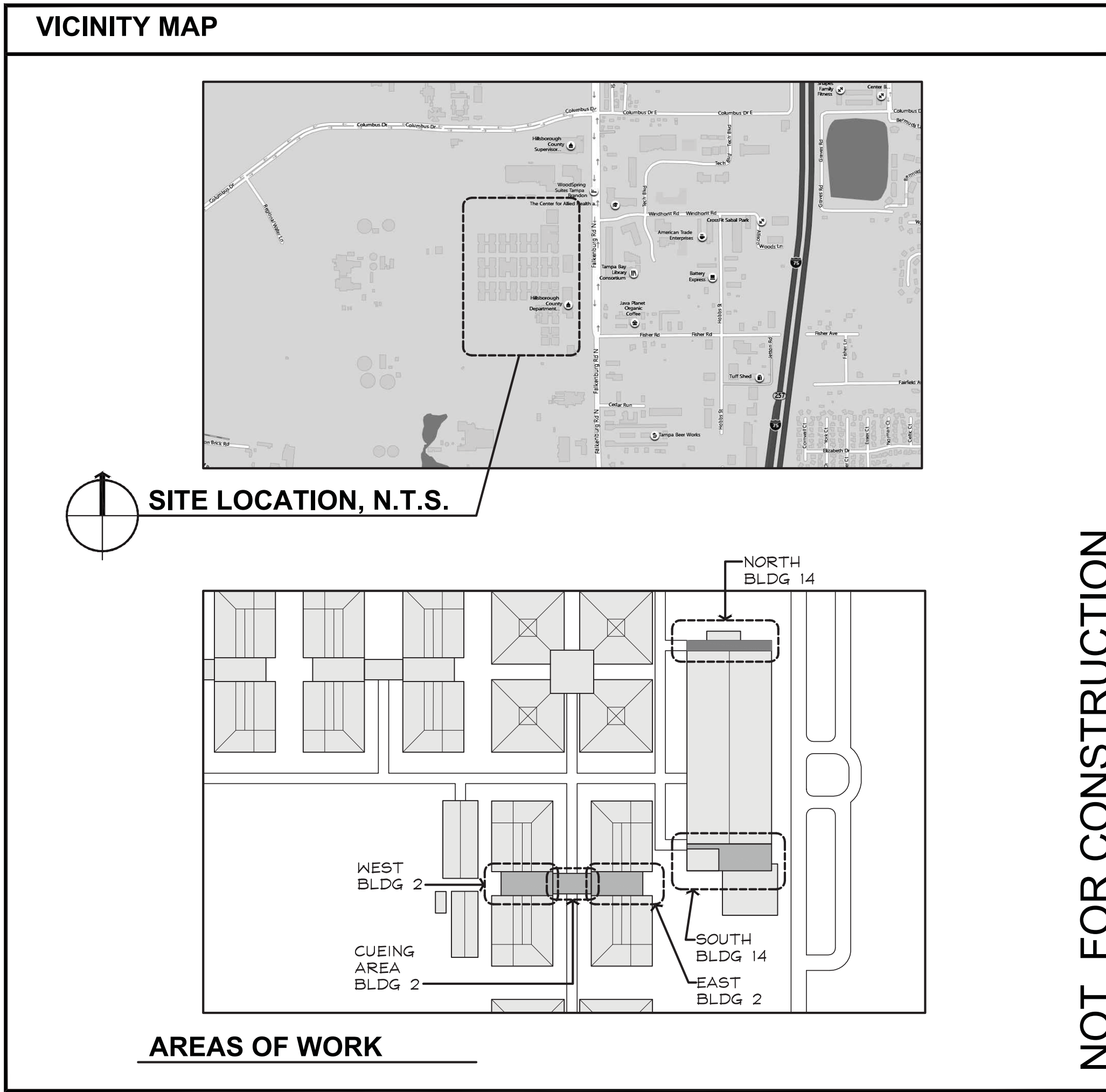
The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

**Geotechnical Information**

Design Soil Load-Bearing Capacity:	2,000 psf
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**Flood Design Data**

Flood Zone:	X
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ROOF RENOVATION  
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Joseph V. Belluccia, AIA  
FL REG AR92396

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

**JOB NO:** 19017  
**DRAWN BY:** CW  
**ISSUE DATE:**  
**SHEET TITLE:**  
TITLE SHEET, CODE INFORMATION & APPROVALS  
**SHEET NUMBER:**  
A-001

**NOT FOR CONSTRUCTION**



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1	FINAL OWNER REVIEW SET	7-6-2019
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**REVISIONS**

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**JOB NO :** 19017

**DRAWN BY :** CW

**ISSUE DATE :**

**SHEET TITLE:**  
 EXISTING/DEMO ROOF PLAN BUILDING 14

**SHEET NUMBER**  
**A-002**

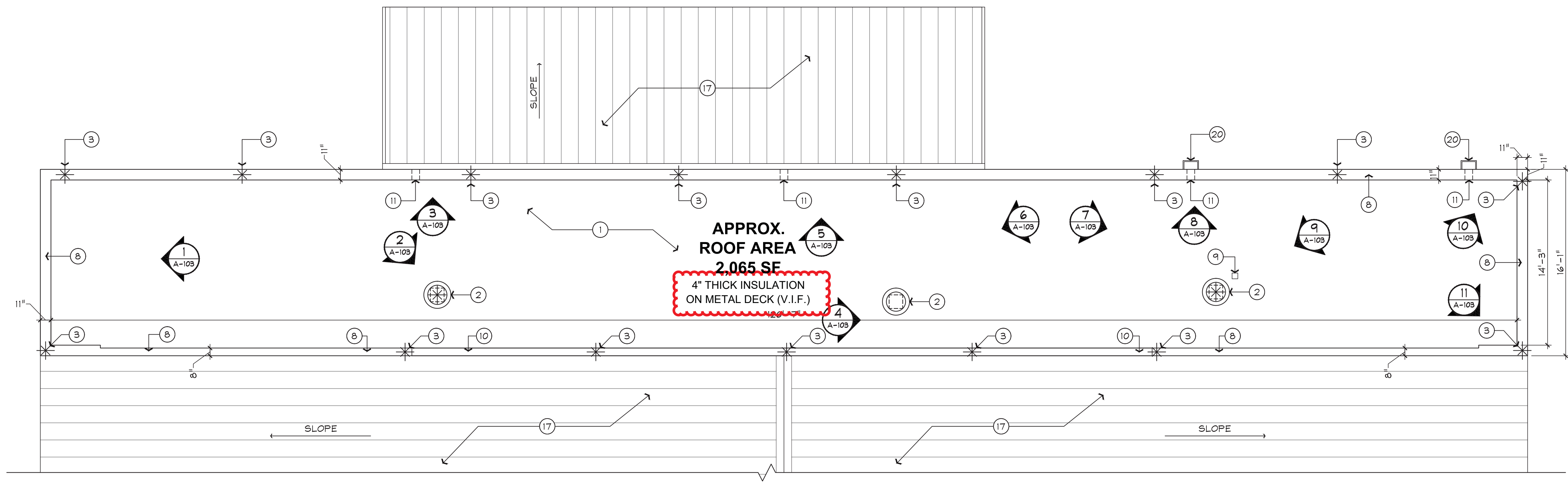
**DEMOLITION GENERAL NOTES**

- IF DEMOLITION COMMENCES PRIOR TO PERMIT, GC SHALL OBTAIN DEMO PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
- FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION AREA. KEEP AREA CLEAN.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED ENTIRELY FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO WASTE AREA PROVIDED BY THE CONTRACTOR.
- CLEAN ENTIRE SPACE, EVEN IF NOT PART OF CONSTRUCTION WORK
- DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH LANDLORD & BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- CONTRACTOR TO COORDINATE LOCATION OF DUMP SITE & ALL DEMO WORK WITH LANDLORD.
- CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MECHANICAL EQUIPMENT AND RELATED CONDUITS, AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NEEDED TO PERFORM REPLACEMENT OF ROOF MEMBRANE SYSTEM. **OWNER TO PROVIDE LETTER OF RECERTIFICATION FOR LIGHTING PROTECTION SYSTEM AS REQUIRED, TYPICAL ALL ROOFS**
- ANY CURB UNDER 8" HIGH TO BE RAISED MINIMUM 8" HIGH ABOVE ROOF SURFACE.
- AREAS OF SUBSTANTIAL DECK DEFLECTION OR MEMBRANE IMPERFECTIONS SHALL BE CORRECTED PRIOR TO INSTALLING ANY NEW ROOFING. FIELD VERIFY CONDITIONS.

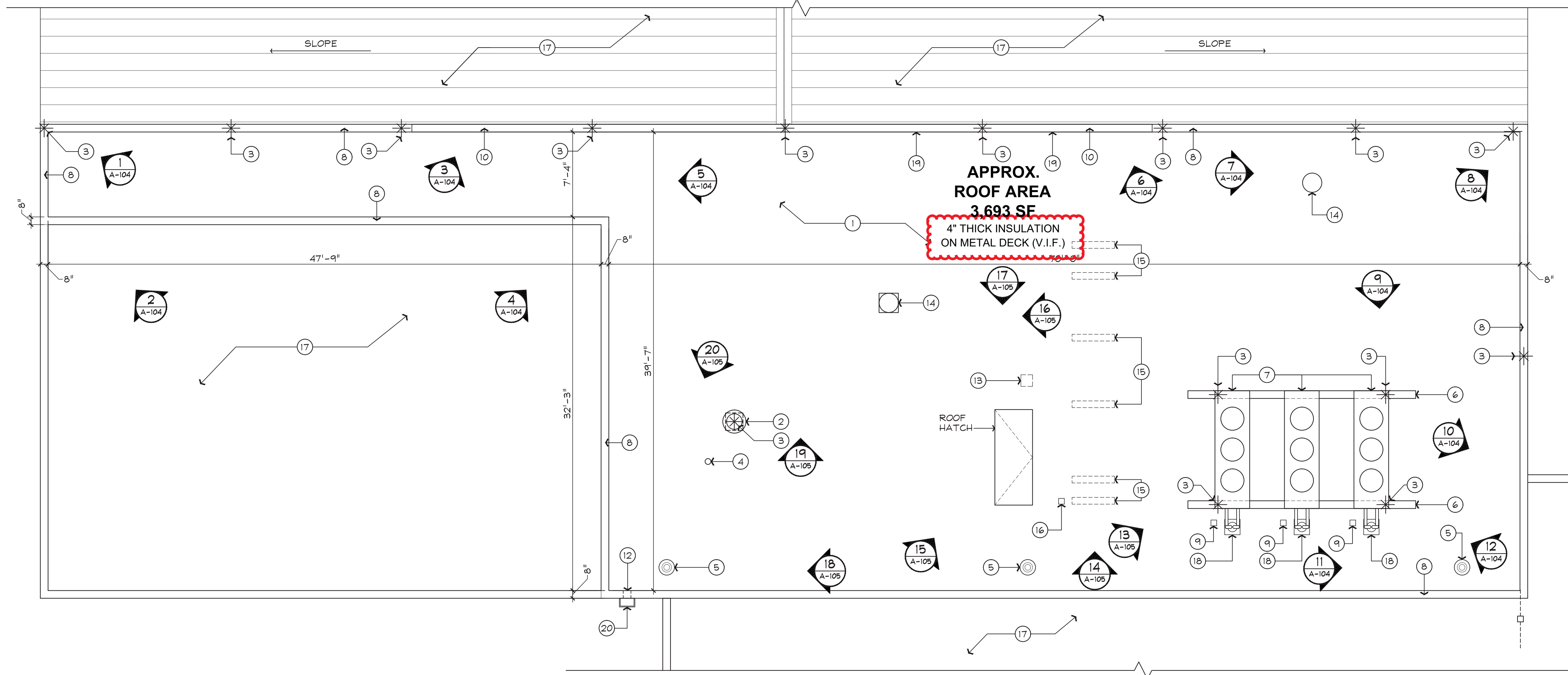
**KEYNOTE LEGEND**

- PREPARE EXISTING ROOF PER MANUFACTURER'S INSTRUCTIONS TO RECEIVE NEW COVER BOARD AND MEMBRANE SYSTEM.
- EXISTING ROOF EXHAUST FAN TO REMAIN. REMOVE EXISTING FLASHING.
- LIGHTING PROTECTION RODS AND CONNECTIONS TO REMAIN. UNINSTALL AND REINSTALL AT SAME LOCATIONS, AS NEEDED. TYPICAL AT ALL ROOFS**
- EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. FLASHING TO BE REMOVED.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. REMOVE EXISTING FLASHING, TYP.
- EXISTING MECHANICAL EQUIPMENT SUPPORT TO REMAIN. PROVIDE NEW SKIRT FLASHING AROUND EXISTING CURB FLASHING.**
- EXISTING PARAPET METAL COPING TO BE REMOVED.
- EXISTING CONDUIT PENETRATION IN PITCH PAN TO REMAIN. REMOVE PITCH PAN AND FLASHING. ALL PITCH POCKET TO BE REPLACED U.N.O.
- EXISTING COPING TO REMAIN. REMOVE/REINSTALL AS NEEDED TO INSTALL NEW ROOF FLASHING.
- EXISTING SCUPPER TO REMAIN. REMOVE FLASHING.
- EXISTING INACTIVE (BLOCKED) SCUPPER. REMOVE ROOFING TO MAKE IT ACTIVE.
- REMOVE EXISTING CAPPED ROOF OPENING. PATCH AND REPAIR ROOF.
- EXISTING ROOF VENT TO REMAIN. REMOVE FLASHING.
- 20" HIGH UNUSED RTU CURBS TO BE REMOVED. PATCH AND REPAIR ROOF.
- EXISTING PITCH PAN WITH CONDUIT CAPPED TO REMAIN.
- EXISTING STANDING METAL ROOF TO REMAIN. REMOVE FLASHING.
- REFRIGERANT LINES ON STAND TO REMAIN. REMOVE FLASHING.
- PCV PIPING ON WALL FOR COAXIAL LINES TO BE REMOVED. COAXIAL LINES TO REMAIN.
- EXISTING COLLECTOR BOX AND DOWNSPOUT TO REMAIN

**NOT FOR CONSTRUCTION**



**1 EXISTING/DEMO ROOF PLAN (NORTH) - BASE BID**  
 SCALE: 3/16" = 1'-0"  
 FEET



**2 EXISTING/DEMO ROOF PLAN (SOUTH) - BASE BID**  
 SCALE: 3/16" = 1'-0"  
 FEET

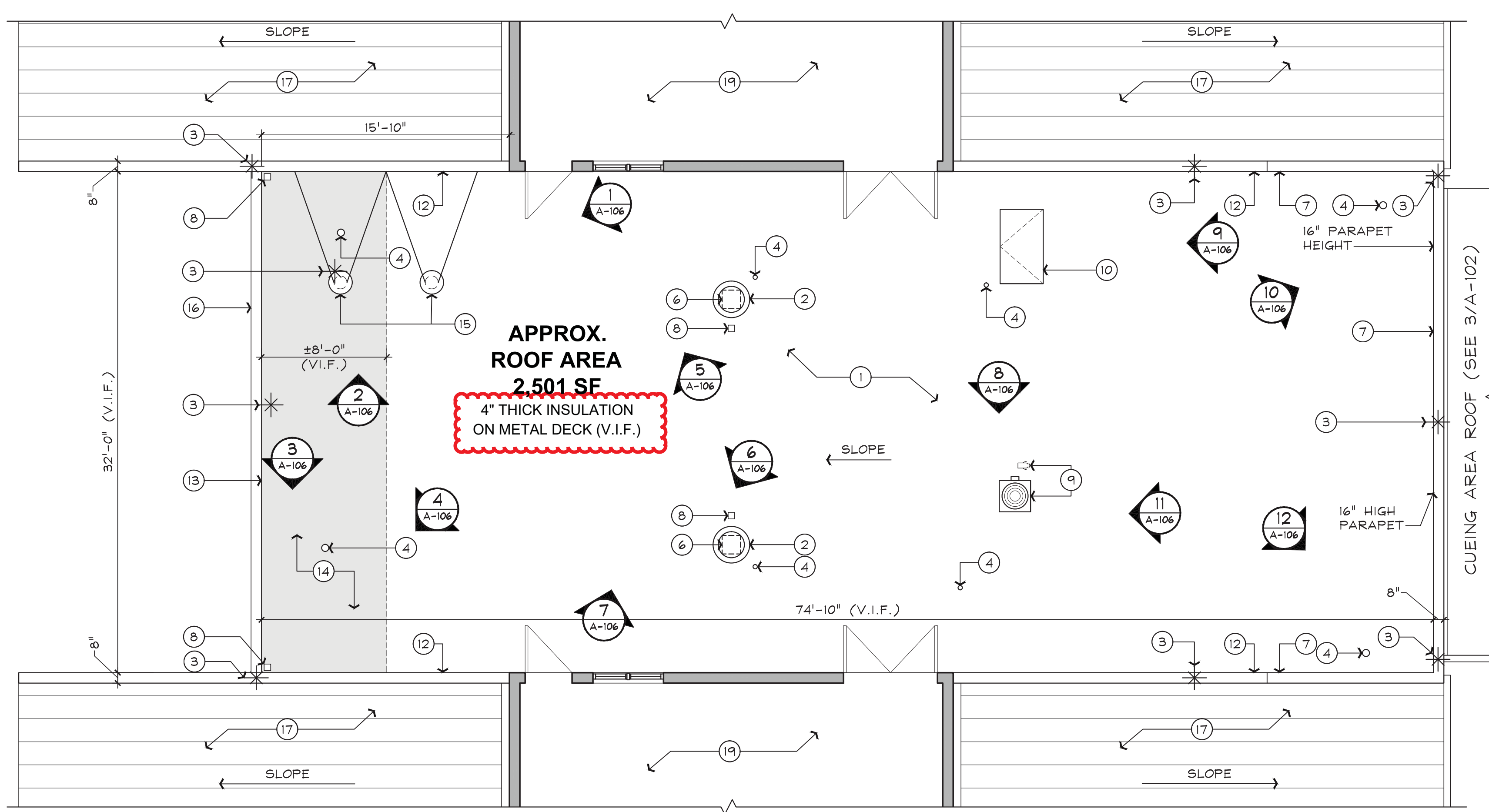


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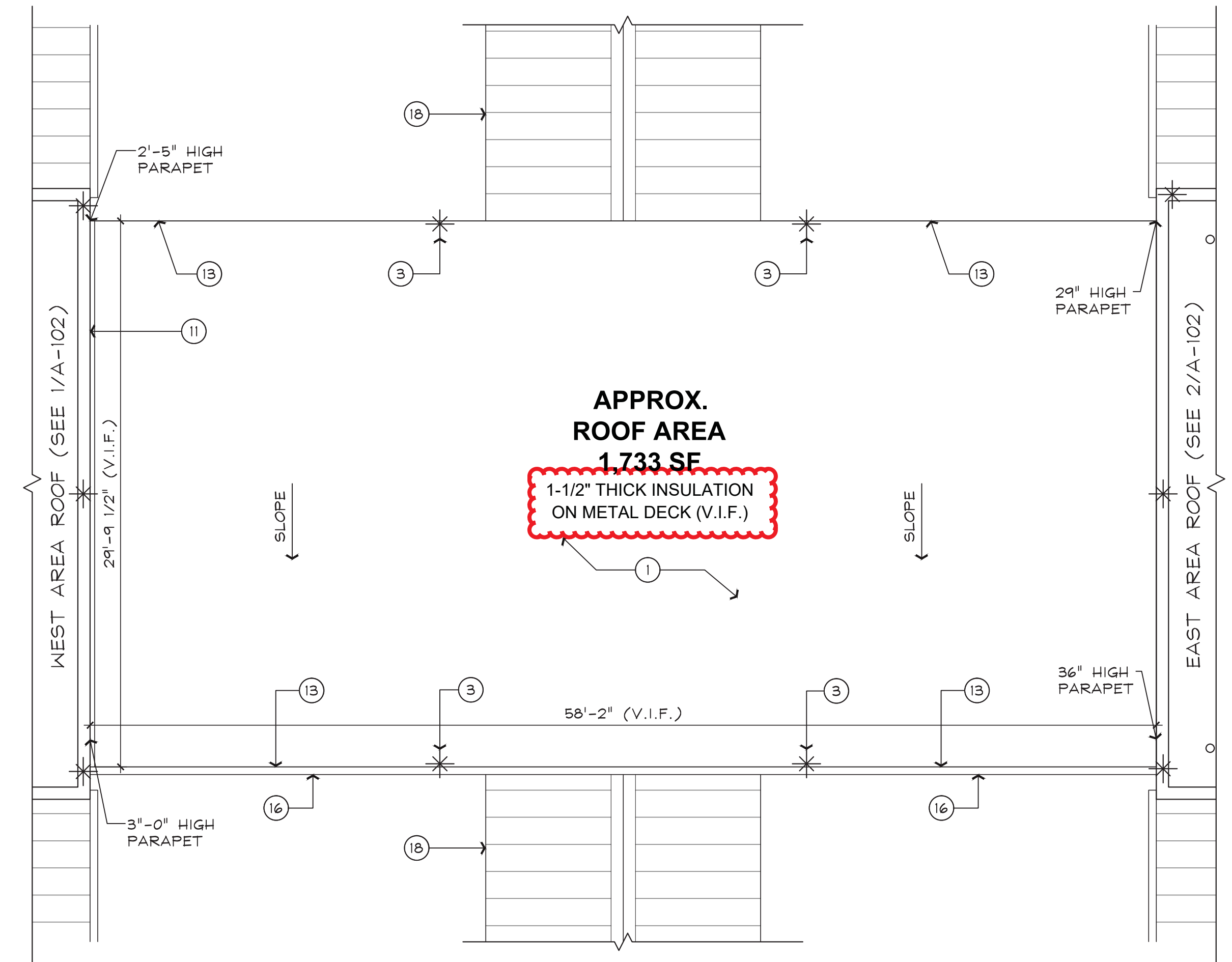
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**REVISIONS**

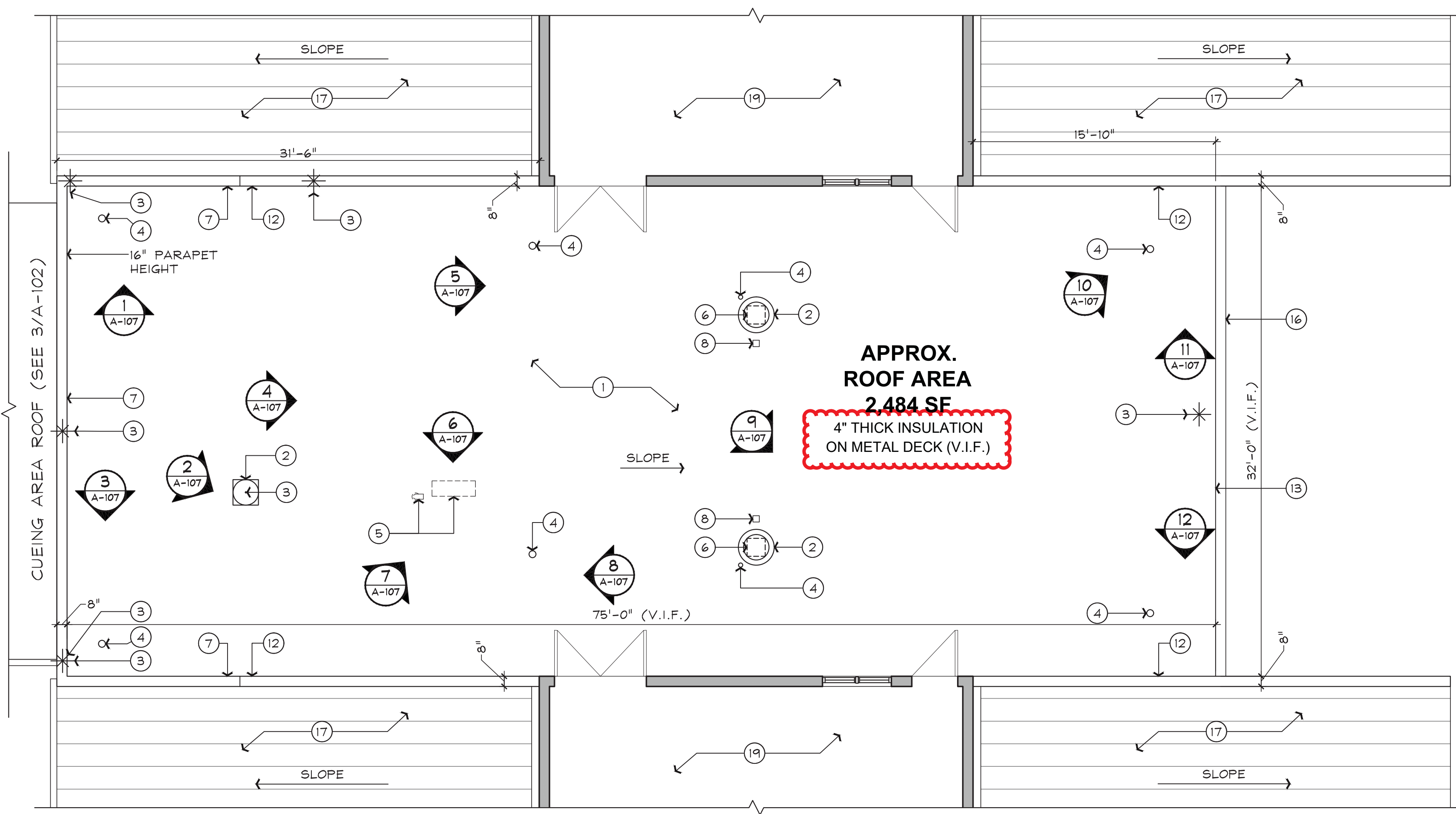
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**1** EXISTING/DEMO ROOF PLAN (WEST) - ALTERNATE 1  
 SCALE: 3/16" = 1'-0"



**3** EXISTING/DEMO ROOF PLAN (CUEING AREA) - ALTERNATE 3  
 SCALE: 3/16" = 1'-0"



**2** EXISTING/DEMO ROOF PLAN (EAST) - ALTERNATE 2  
 SCALE: 3/16" = 1'-0"

- (X) KEYNOTE LEGEND**
1. PREPARE EXISTING ROOF PER MANUFACTURER'S INSTRUCTIONS TO RECEIVE NEW COVER BOARD AND MEMBRANE SYSTEM.
  2. EXISTING ROOF EXHAUST FAN TO REMAIN. REMOVE EXISTING FLASHING.
  3. LIGHTING PROTECTION RODS AND CONNECTIONS TO REMAIN. UNINSTALL AND REINSTALL AT SAME LOCATIONS AS NEEDED, TYPICAL AT ALL ROOFS.
  4. EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. FLASHING TO BE REMOVED.
  5. EXISTING EXISTING SPLIT SYSTEM EQUIPMENT AND REFRIGERANT LINES TO BE REMOVED BY OWNER. PATCH & REPAIR ROOF.
  6. EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. REMOVE EXISTING FLASHING, TYP.
  7. EXISTING PARAPET METAL COPING TO BE REMOVED.
  8. EXISTING CONDUIT PENETRATION IN PITCH PAN TO REMAIN. REMOVE PITCH PAN AND FLASHING. ALL PITCH POCKET TO BE REPLACED U.N.O.
  9. COORDINATE WITH OWNER ALL PHASES OF REMOVAL AND REINSTALLATION OF ELECTRICAL PIPING, REFRIGERANT LINES AND EQUIPMENT AT ICE MAKER CONDENSING UNIT.
  10. EXISTING ROOF ACCESS HATCH TO REMAIN.
  11. EXISTING BUILDING EXPANSION JOINT AND FLASHING TO BE REMOVED.
  12. EXISTING COPING TO REMAIN. REMOVE/REINSTALL AS NEEDED TO INSTALL NEW ROOF FLASHING.
  13. EXISTING ROOF EDGE FLASHING TO BE REMOVED.
  14. SHADED AREA INDICATES LIMITS OF PORTION OF EXISTING INSULATION TO BE REMOVED DOWN TO EXISTING DECK.
  15. EXISTING 6' HIGH VENT STACKS. REMOVE FLASHING SUPPORT STRAPS ATTACHED TO WALL TO BE REPLACED WITH CODE COMPLIANT TIE RODS.
  16. GUTTER SYSTEM TO BE REMOVED.
  17. EXISTING STANDING METAL ROOF TO REMAIN UNDISTURBED.
  18. EXISTING COVERED WALKWAY ROOF BELOW, NOT IN CONTRACT (N.I.C.)
  19. EXISTING STRUCTURE TO REMAIN UNDISTURBED

- DEMOLITION GENERAL NOTES**
1. IF DEMOLITION COMMENCES PRIOR TO PERMIT, GC SHALL OBTAIN DEMO PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
  2. FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
  3. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION AREA. KEEP AREA CLEAN.
  4. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
  5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED ENTIRELY FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO WASTE AREA PROVIDED BY THE CONTRACTOR.
  6. CLEAN ENTIRE SPACE, EVEN IF NOT PART OF CONSTRUCTION WORK.
  7. DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH LANDLORD & BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
  8. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
  9. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
  10. CONTRACTOR TO COORDINATE LOCATION OF DUMP SITE & ALL DEMO WORK WITH LANDLORD.
  11. CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MECHANICAL EQUIPMENT AND RELATED CONDUITS, AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NEEDED TO PERFORM REPLACEMENT OF ROOF MEMBRANE SYSTEM. OWNER TO PROVIDE LETTER OF RECERTIFICATION FOR LIGHTING PROTECTION SYSTEM AS REQUIRED. TYPICAL ALL ROOFS.
  12. ANY CURB UNDER 8" HIGH TO BE RAISED MINIMUM 8" HIGH ABOVE ROOF SURFACE.
  13. AREAS OF SUBSTANTIAL DECK DEFLECTION OR MEMBRANE IMPERFECTIONS SHALL BE CORRECTED PRIOR TO INSTALLING ANY NEW ROOFING. FIELD VERIFY CONDITIONS.

**NOT FOR CONSTRUCTION**

**HILLSBOROUGH COUNTY**  
**SHERIFF'S OFFICE**  
**ROOF RENOVATION**  
 520 N Falkenberg Road  
 Tampa, FL 33619

Joseph V. Belluccia, AIA

FL REG AR92396

**JOB NO:** 19017

**DRAWN BY:** CW

**ISSUE DATE:**

**SHEET TITLE:**  
 EXISTING/DEMO ROOF  
 PLAN BUILDING 2

**SHEET NUMBER**  
**A-003**

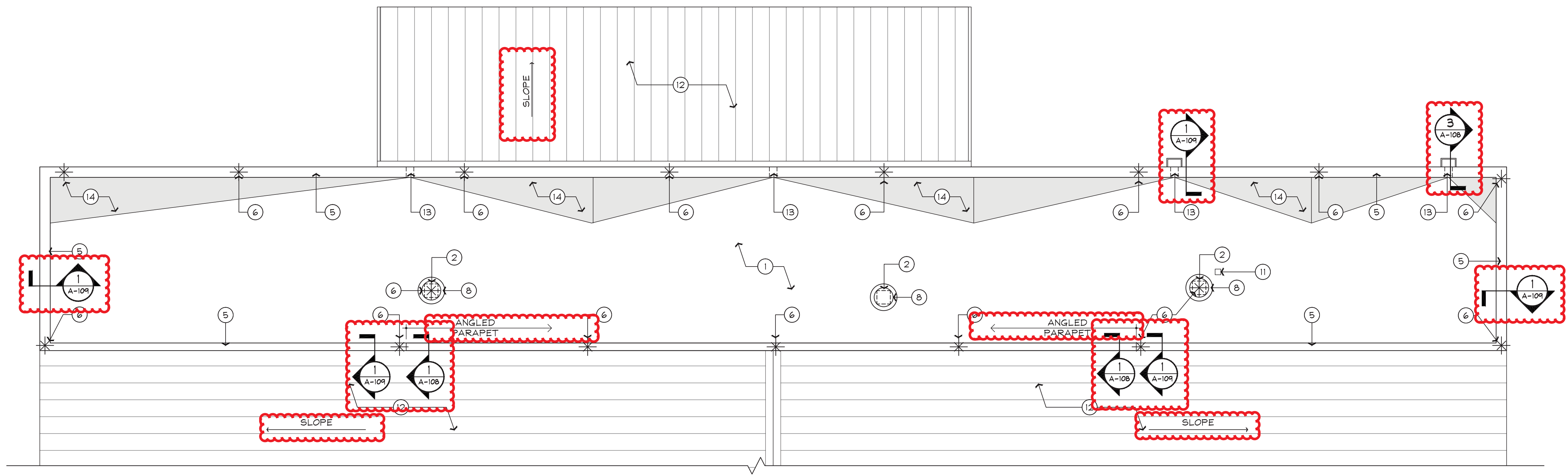


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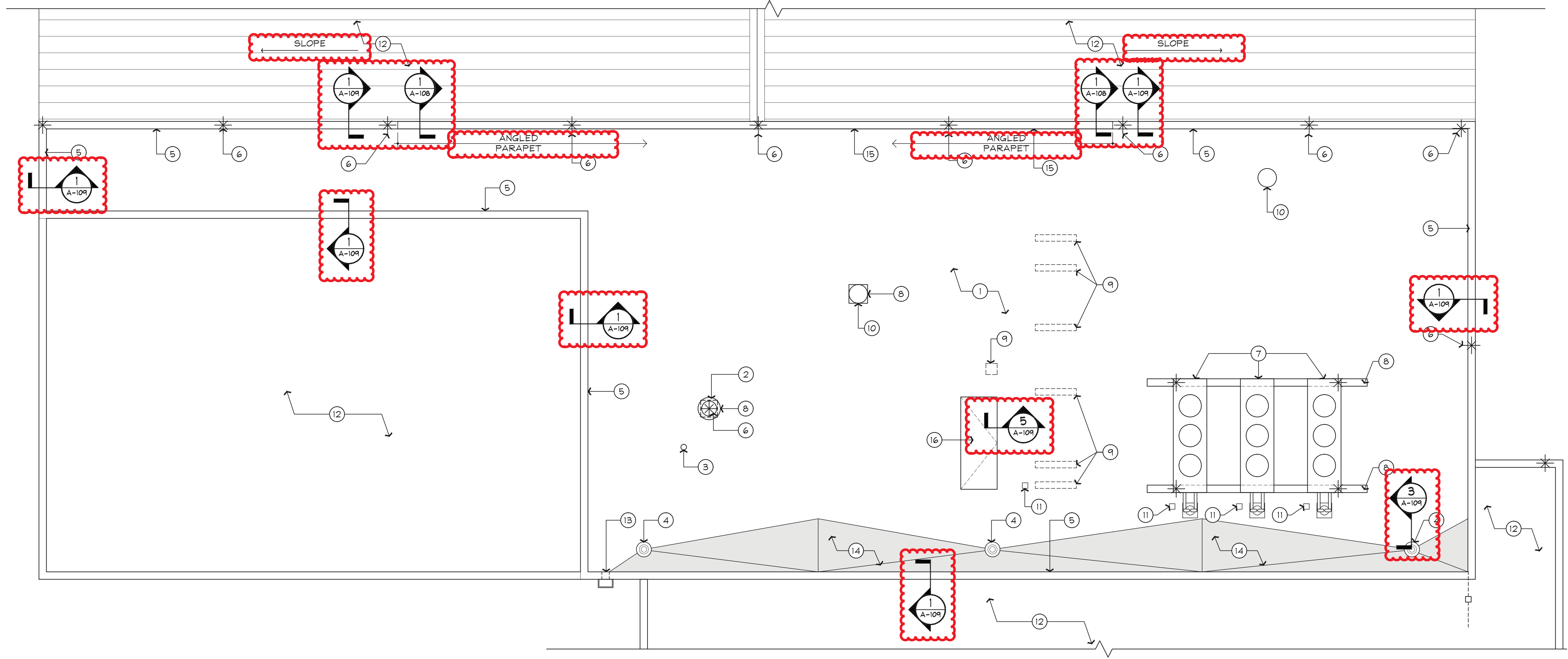
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**1 ROOF PLAN (NORTH) - BASE BID**  
 SCALE: 3/16" = 1'-0"  
 FEET



**2 ROOF PLAN (SOUTH) - BASE BID**  
 SCALE: 3/16" = 1'-0"  
 FEET

**GENERAL NOTES**

1. ALL DIMENSIONS ARE FOR REFERENCE.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EFFECTIVE AREAS.
3. PROVIDE NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.
4. REPLACE FLASHING, TYP.
5. REPLACE/REPAIR ANY DAMAGED SUBSTRATES OR BLOCKING (NOT INDICATED AS DEMO).
6. CONFIRM ROOF SLOPES TO DRAIN AS INDICATED IN PLAN.
7. CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT AND RELATED CONDUITS AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NECESSARY TO FACILITATE REPLACEMENT OF ROOF SYSTEM.
8. ROOF INSULATION NOT TO BE MODIFIED TO REDUCE PERFORMANCE INCLUDING R-VALUE.

**KEYNOTE LEGEND**

1. NEW SINGLE-PLY ROOF MEMBRANE ON NEW COVER BOARD OVER EXISTING ROOFING, TYP.
2. EXISTING EXHAUST FAN TO REMAIN. PROVIDE NEW FLASHING. SEE DETAIL 2/A-108 & 10/A-108.
3. EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. PROVIDE NEW FLASHING.
4. EXISTING ROOF DRAIN. REPLACE CLAMPING RING AND STRAINER, TYP. RESET WITH NEW ROOF SYSTEM. SEE DETAIL 3/A-109.
5. NEW PARAPET COPING, TYP. SEE DETAIL 1/A-109.
6. EXISTING LIGHTING PROTECTION RODS, TYP.
7. EXISTING MECH EQUIPMENT SUPPORT TO REMAIN. PROVIDE NEW FLASHING, TYP. SEE DETAIL 4/A-109.
8. EXISTING MECH EQUIPMENT CURB TO REMAIN. PROVIDE NEW FLASHING, TYP. 2/A-108 & 10/A-108.
9. INSTALL MTL DECK INFILL AS NEEDED, AND RIGID INSULATION TO MATCH SURROUNDING THICKNESS OF ROOF.
10. EXISTING ROOF VENT. PROVIDE NEW FLASHING 2/A-108 & 10/A-108.
11. EXISTING ELECTRICAL CONDUIT IN NEW PITCH POCKET WITH WATER TIGHT COVER. PROVIDE NEW FLASHING. SEE DETAIL 4/A-108.
12. EXISTING ROOFING SYSTEM TO REMAIN UNDISTURBED.
13. EXISTING SCUPPER. PROVIDE NEW FLASHING. SEE DETAIL 3/A-108.
14. NEW CRICKET AREA TO BE ACHIEVED WITH TAPERED INSULATION, TYP. MAINTAIN A MINIMUM OF 8" HEIGHT AT EXISTING PARAPET. IF UNABLE TO MAINTAIN 8" MINIMUM HEIGHT AFTER CRICKETING, WRAP ROOFING MEMBRANE OVER EXISTING PARAPET AND PROVIDE ROOF DRIP EDGE.
15. PROVIDE NEW PVC PIPING FOR COAXIAL LINE AT PARAPET WALL.
16. EXISTING ROOF HATCH. SEE DETAIL 5/A-109.

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Joseph V. Belluccia, AIA

FL REG AR92396

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

**JOB NO: 19017**

**DRAWN BY: CW**

**ISSUE DATE:**

**SHEET TITLE:**

**ROOF PLAN  
 BUILDING 14**

**SHEET NUMBER**

**A-101**

Dwg Name: 19017\_A-101.dwg [A-101] - Printed on: Jul 09, 2019 - 10:37AM by jvb-ws-8

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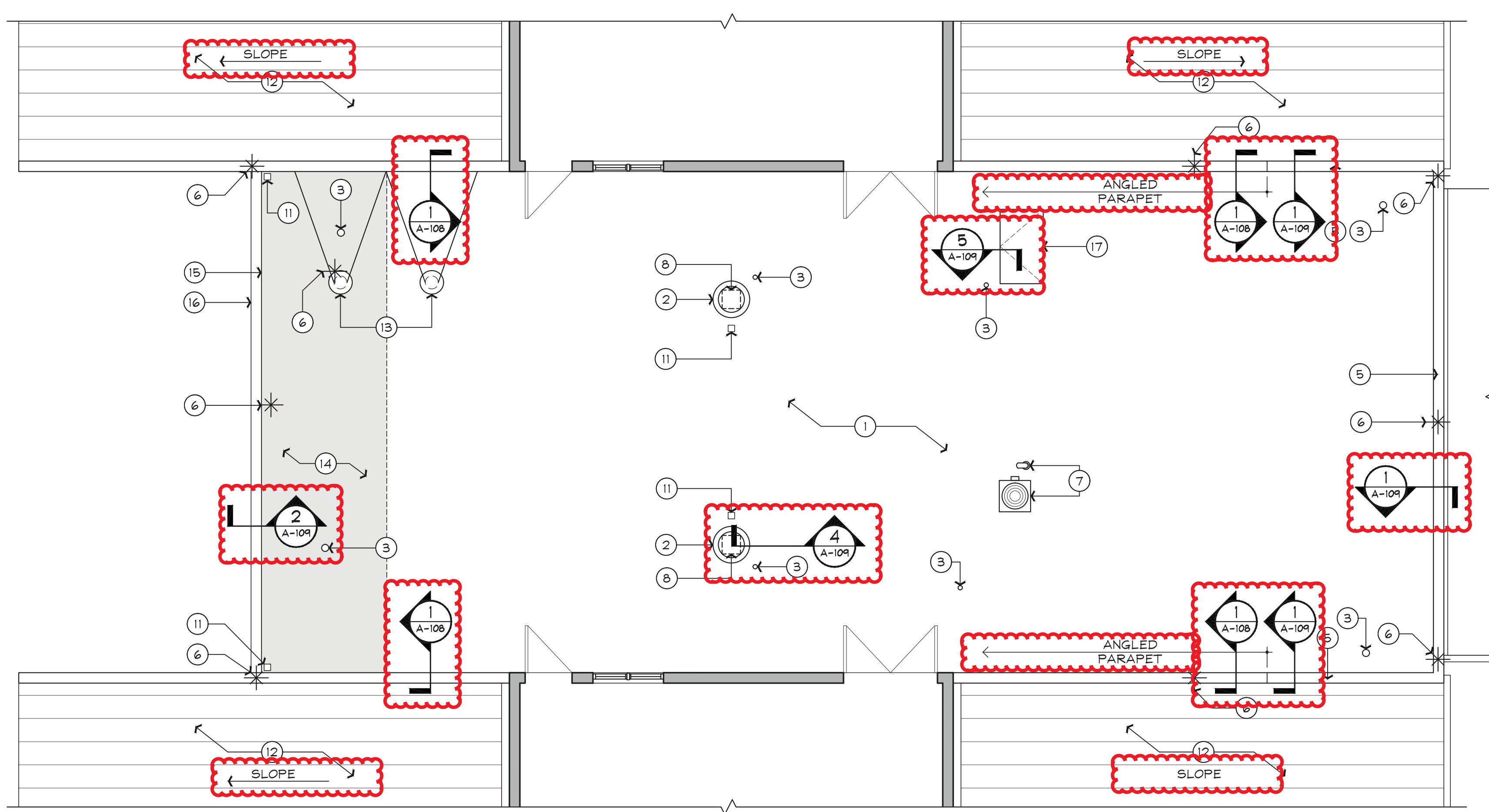


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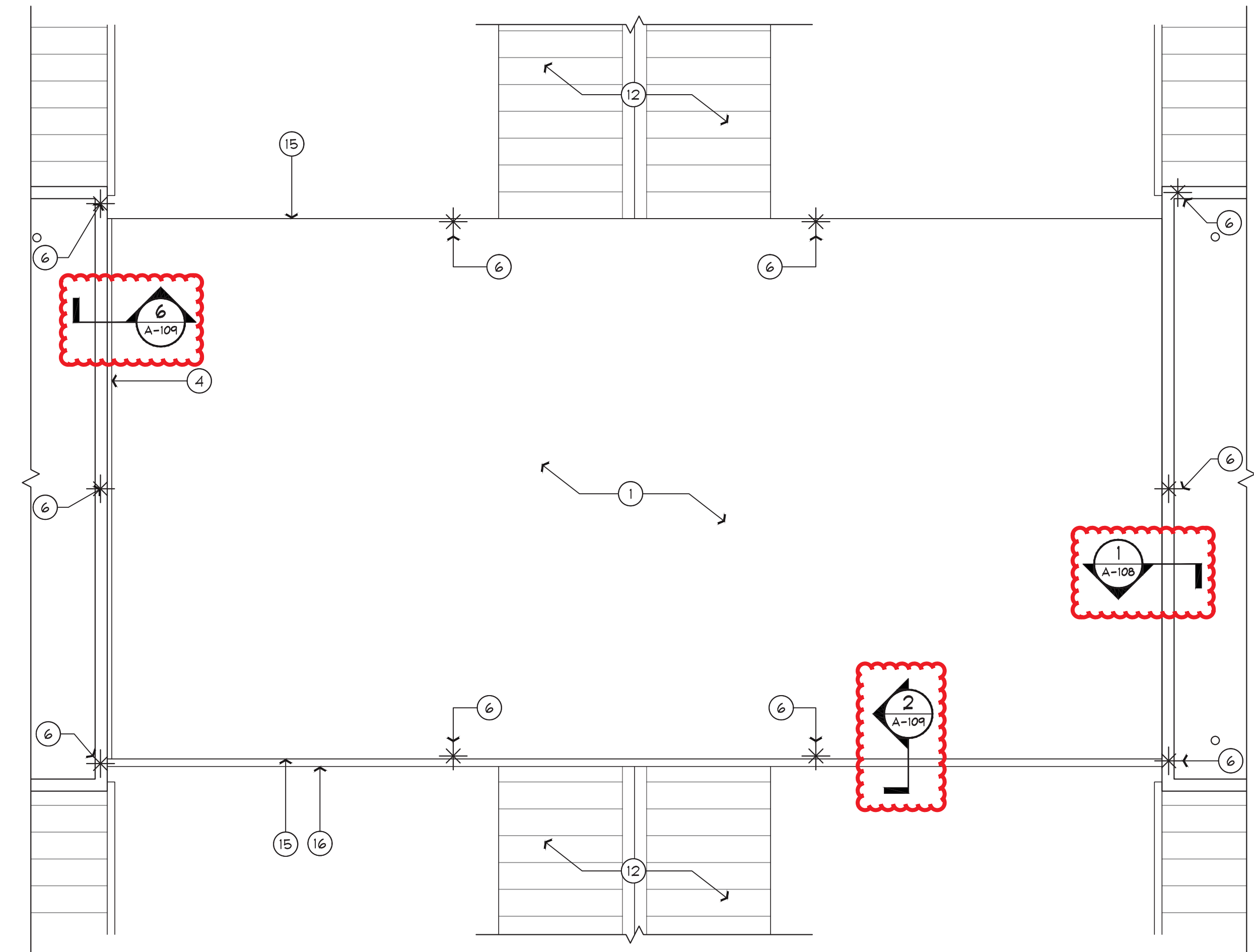
1	FINAL OWNER REVIEW SET	7-8-2019
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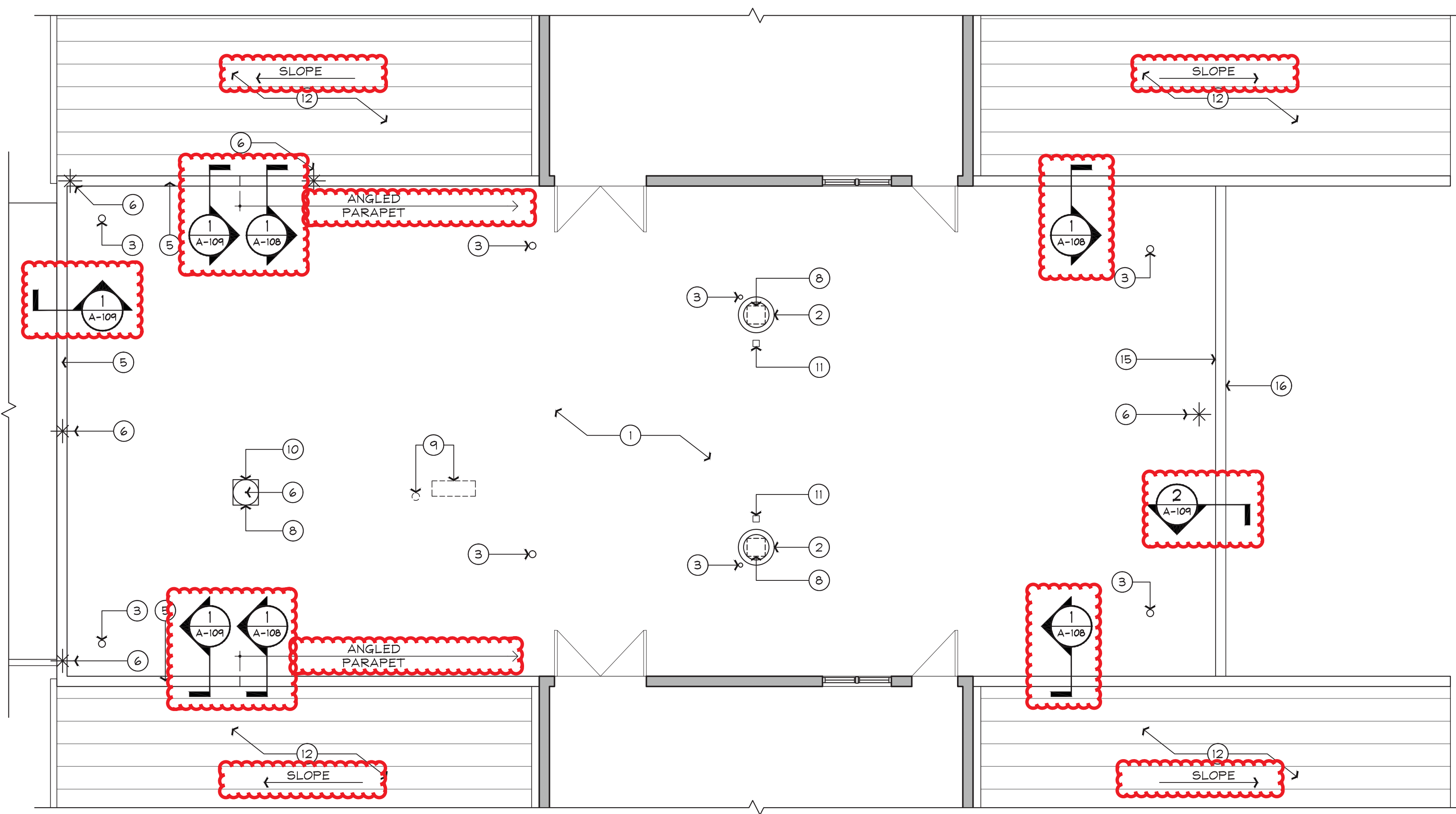
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**1 ROOF PLAN (WEST) - ALTERNATE 1**  
 SCALE: 3/16" = 1'-0"  
 FEET



**3 ROOF PLAN (CUEING AREA) - ALTERNATE 3**  
 SCALE: 3/16" = 1'-0"  
 FEET



**2 ROOF PLAN (EAST) - ALTERNATE 2**  
 SCALE: 3/16" = 1'-0"  
 FEET

**KEYNOTE LEGEND**

1. NEW SINGLE-PLY ROOF MEMBRANE ON NEW COVER BOARD OVER EXISTING ROOFING, TYP.
2. EXISTING EXHAUST FAN TO REMAIN. PROVIDE NEW FLASHING. SEE DETAIL 2/A-108 & 10/A-108.
3. EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. PROVIDE NEW FLASHING.
4. BUILDING EXPANSION JOINT WITH END CAPS. PROVIDE NEW EDGE FLASHING, TYP. SEE DETAIL 6/A109.
5. NEW PARAPET COPING, TYP. SEE DETAIL 1/A-109.
6. EXISTING LIGHTING PROTECTION ROD.
7. COORDINATE WITH OWNER REINSTALLATION OF ELECTRICAL PIPING, REFRIGERANT LINES, ROOF CURB AND/OR EQUIPMENT SUPPORT FOR ICE MAKER CONDENSING UNIT. SEE DETAIL 7/A108.
8. EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. PROVIDE NEW FLASHING, TYP. 2/A-108 & 10/A-108.
9. INSTALL METAL DECK INFILL AS NEEDED, AND RIGID INSULATION TO MATCH SURROUNDING THICKNESS OF ROOF.
10. EXISTING ROOF VENT. PROVIDE NEW FLASHING. 2/A-108 & 10/A-108.
11. EXISTING ELECTRICAL CONDUIT IN NEW PITCH POCKET WITH WATER TIGHT COVER. PROVIDE NEW FLASHING. SEE DETAIL 4/A-108.
12. EXISTING ROOFING SYSTEM TO REMAIN UNDISTURBED.
13. EXISTING VENT STACKS. PROVIDE NEW FLASHING AND CODE COMPLIANT TIE RODS.
14. AREA OF APPROX. 8' WIDE WITH NEW RIGID INSULATION TO MATCH EXIST INSULATION THICKNESS.
15. NEW ROOF EDGE FLASHING, TYP. SEE DETAIL 2/A-109.
16. NEW GUTTER SYSTEM TO MATCH EXISTING. SEE DETAIL 2/A-109.
17. EXISTING ROOF HATCH. SEE DETAIL 5/A-109.

**GENERAL NOTES**

1. ALL DIMENSIONS ARE FOR REFERENCE. GC TO FIELD VERIFY
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EFFECTIVE AREAS.
3. PROVIDE NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.
4. REPLACE FLASHING, TYP. .
5. REPLACE/REPAIR ANY DAMAGED SUBSTRATES OR BLOCKING (NOT INDICATED AS DEMO).
6. CONFIRM ROOF SLOPES TO DRAIN AS INDICATED IN PLAN.
7. CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT AS NECESSARY TO FACILITATE REPLACEMENT OF ROOF SYSTEM.
8. ROOF INSULATION NOT TO BE MODIFIED TO REDUCE PERFORMANCE INCLUDING R-VALUE.

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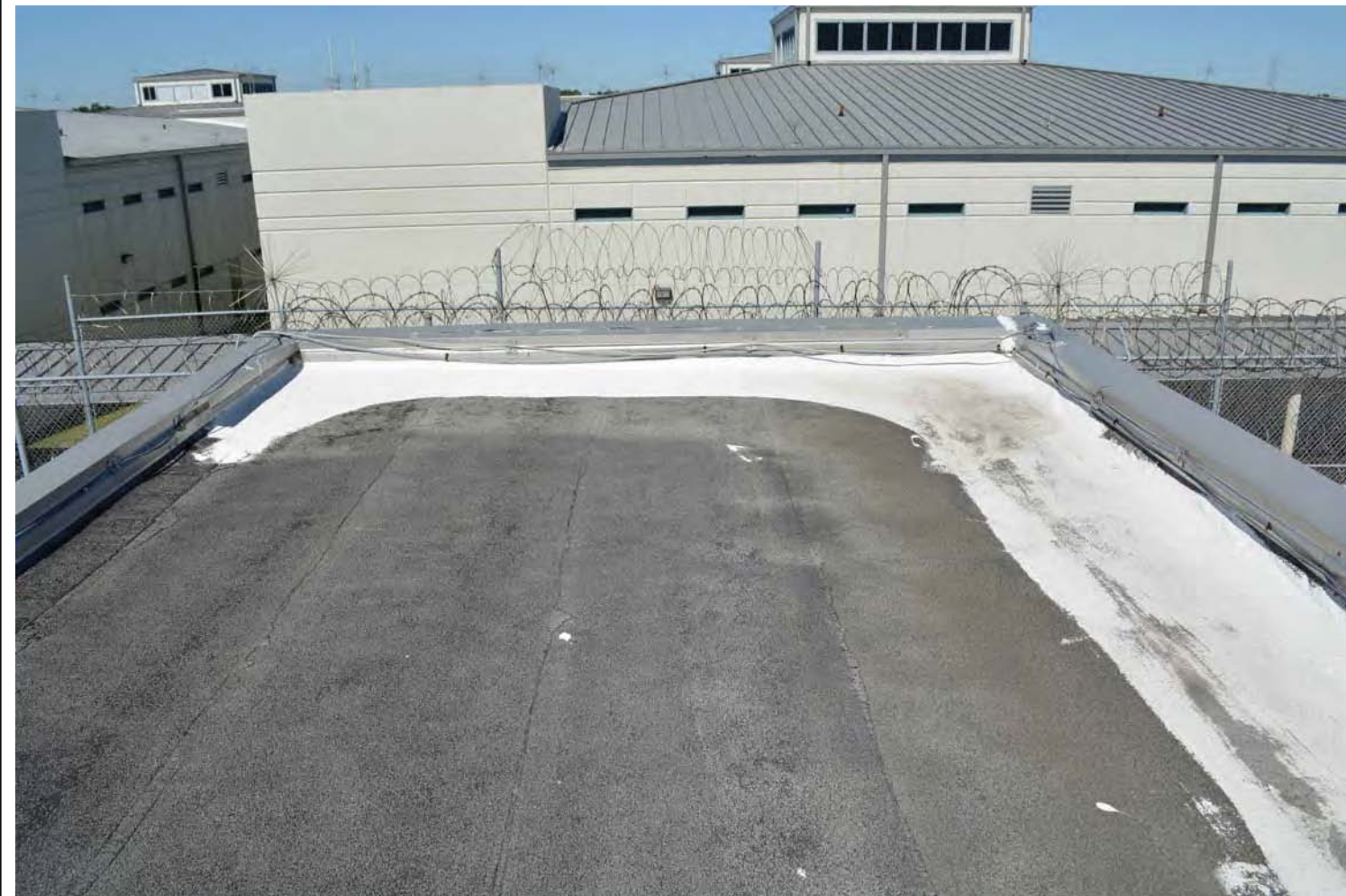
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**SHERIFF'S OFFICE**  
**ROOF RENOVATION**  
 520 N Falkenberg Road  
 Tampa, FL 33619

Joseph V. Belluccia, AIA  
 FL REG AR92396

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**JOB NO :** 19017  
**DRAWN BY :** CW  
**ISSUE DATE :**  
**SHEET TITLE:**  
**ROOF PLAN**  
**BUILDING 2**  
**SHEET NUMBER**  
**A-102**





1 DEMO PHOTO



2 DEMO PHOTO



3 DEMO PHOTO



4 DEMO PHOTO



5 DEMO PHOTO



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7 DEMO PHOTO



8 DEMO PHOTO



9 DEMO PHOTO



10 DEMO PHOTO



11 DEMO PHOTO

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JOB NO: 19017

DRAWN BY: CW

ISSUE DATE:

SHEET TITLE:  
ROOF PHOTOS  
NORTH BLDG 14

SHEET NUMBER  
**A-103**

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Dwg Name: 19017\_A-103-A-105.dwg [A-103] - Printed on: Jul 09, 2019 - 10:37AM, by: jvb-we-8





1 DEMO PHOTO



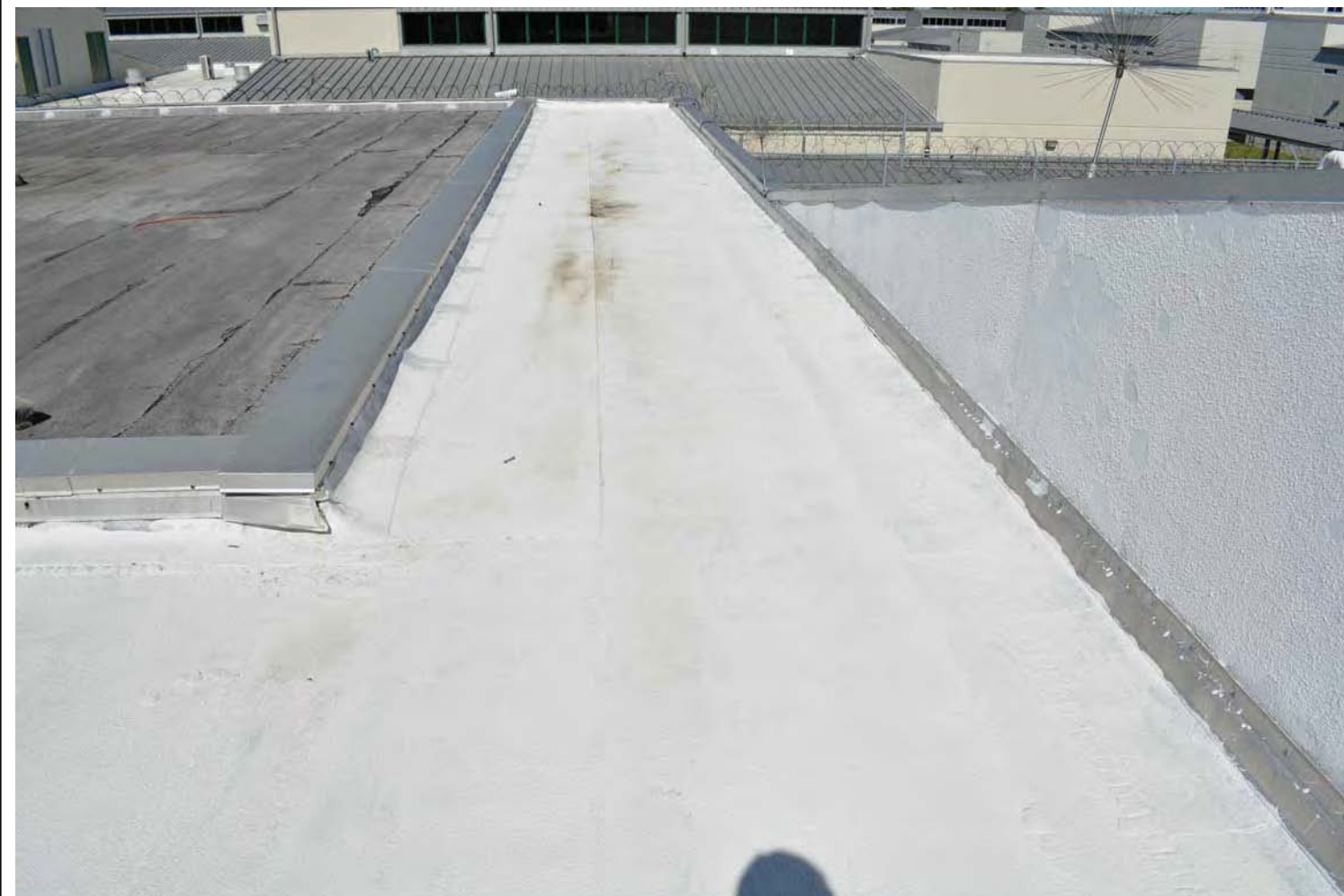
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11 DEMO PHOTO



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JOB NO : 19017  
DRAWN BY : CW  
ISSUE DATE :  
SHEET TITLE:  
ROOF PHOTOS  
SOUTH BLDG 14  
SHEET NUMBER  
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17 DEMO PHOTO



18 DEMO PHOTO




19 DEMO PHOTO



20 DEMO PHOTO

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JOB NO : 19017

DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:  
 ROOF PHOTOS  
 SOUTH BLDG 14

SHEET NUMBER  
 105

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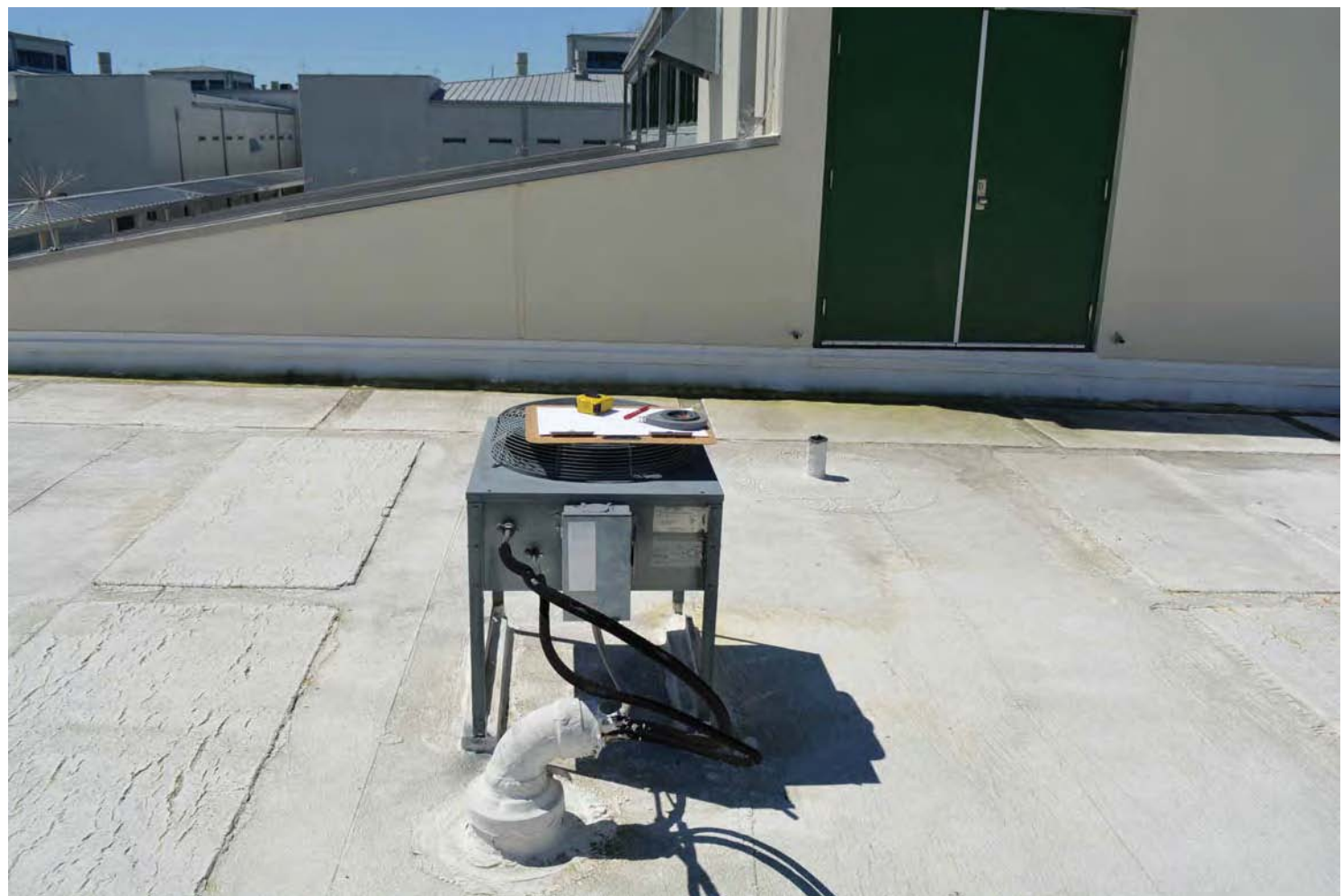
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JOB NO : 19017  
 DRAWN BY : CW  
 ISSUE DATE :  
 SHEET TITLE:  
 ROOF PHOTOS  
 WEST BLDG 2  
 SHEET NUMBER  
**A-106**

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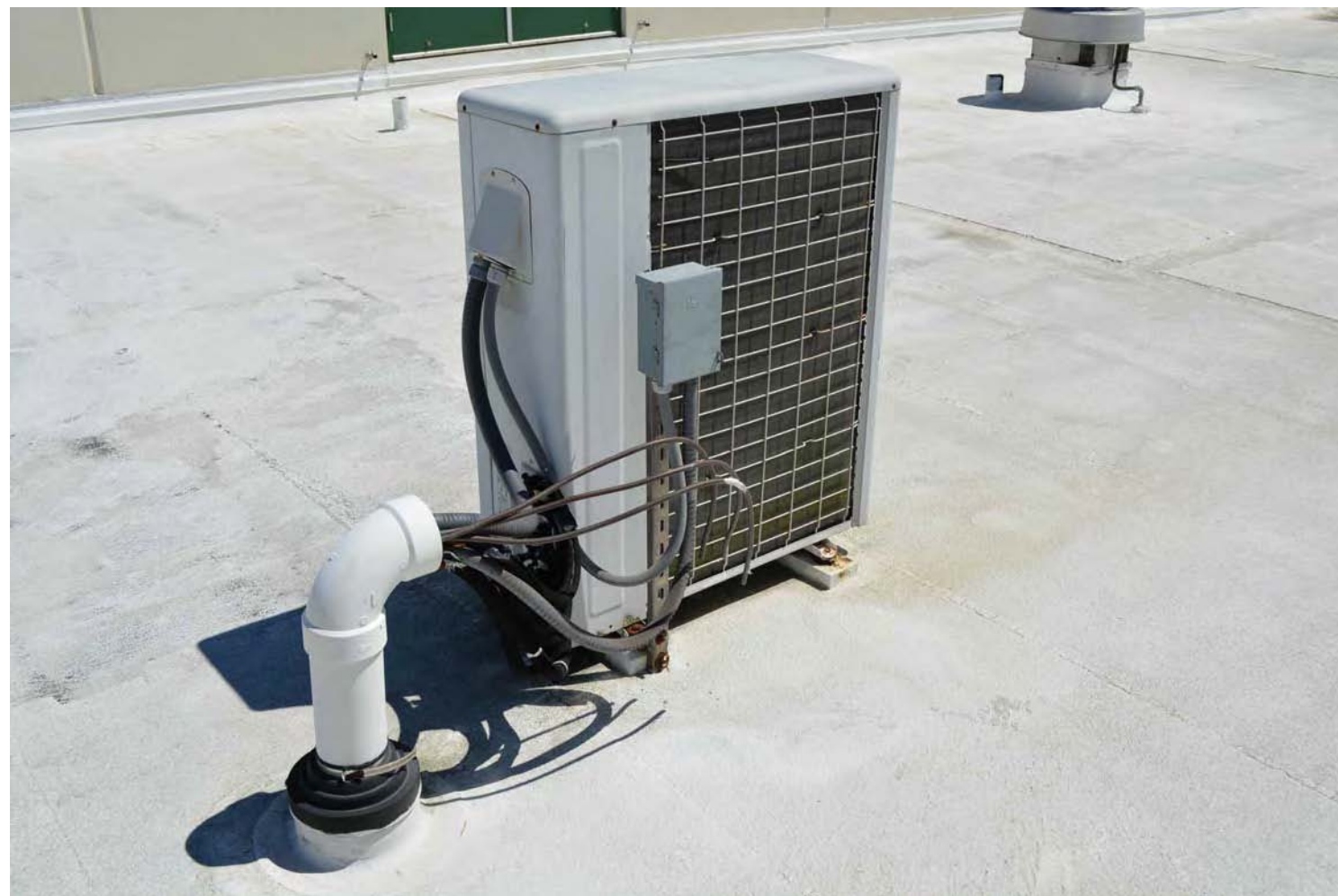
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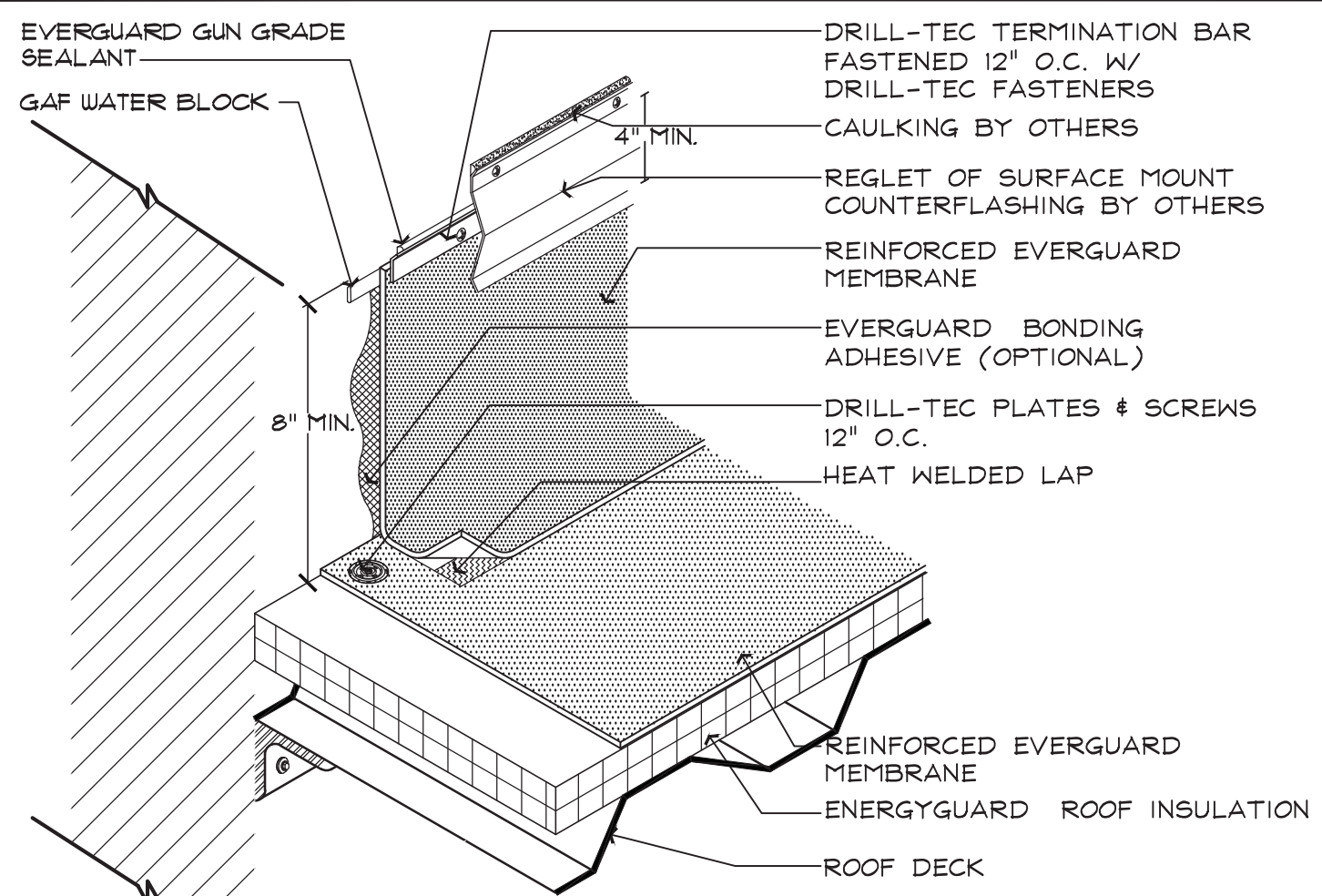
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**JOB NO :** 19017  
**DRAWN BY :** CW  
**ISSUE DATE :**  
**SHEET TITLE:**  
 ROOF PHOTOS  
 EAST BLDG 2  
**SHEET NUMBER**  
**A-107**

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Dwg Name: 19017\_A-106-A-107.dwg (A-107) - Printed on Jul 09, 2019 - 10:37AM by jvb-we-8



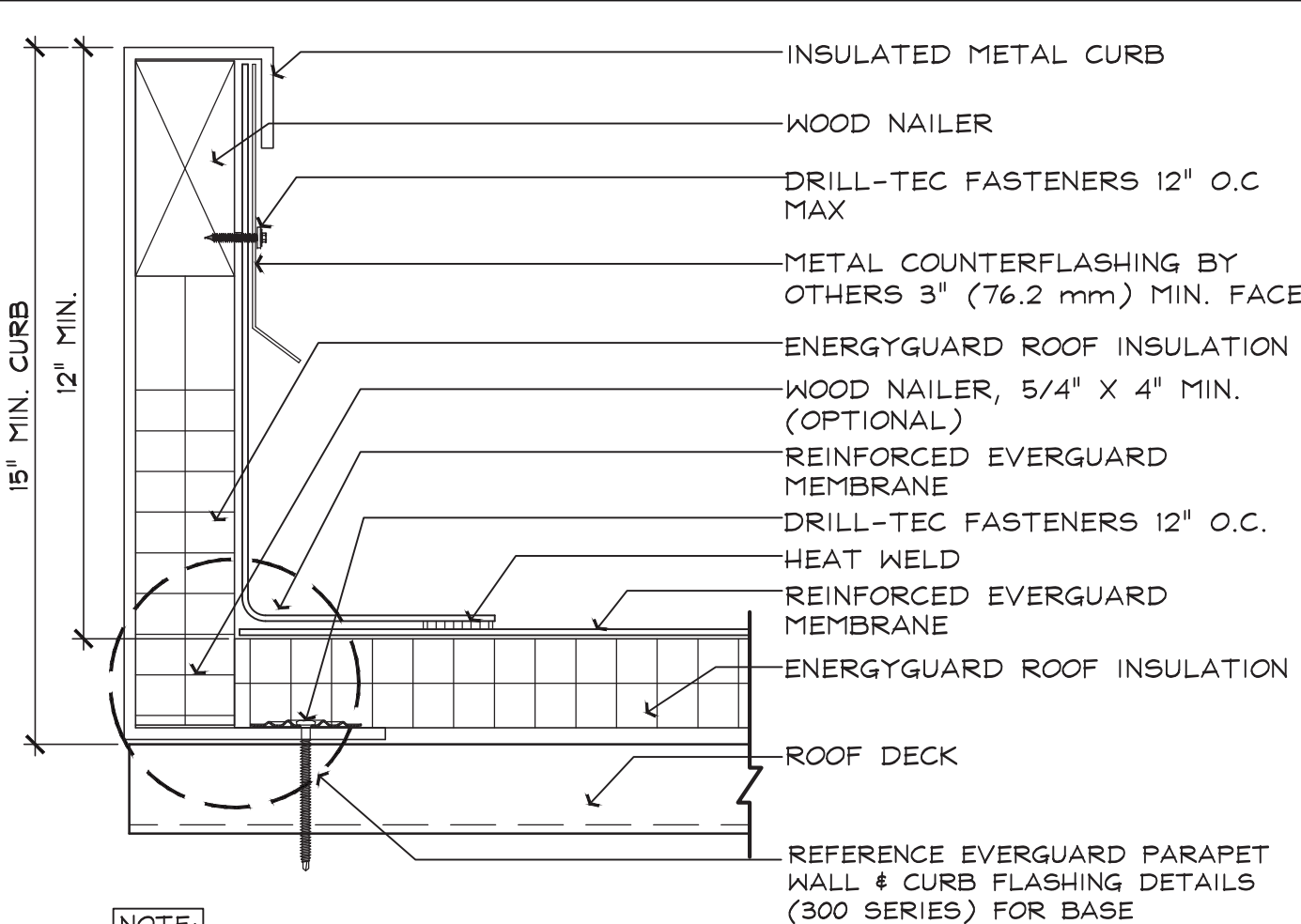


NOTE:

1. THE FOLLOWING APPLIES FOR MA SYSTEMS ONLY: FOR INSULATION THICKNESSES GREATER THAN 8" CONTACT GAF CONTRACTOR SERVICES FOR ALTERNATE ATTACHMENT REQUIREMENTS. THESE METHODS MAY INCLUDE THE USE OF A HARD BOARD COVERING THE ASSEMBLY.
2. PLATES & SCREWS 6" O.C. REQ'D FOR BA SYSTEMS.
3. COUNTERFLASHING REQUIRED FOR 20 YEAR SYSTEM.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11).

### 1 PARAPET WALL DETAIL

SCALE: N.T.S.

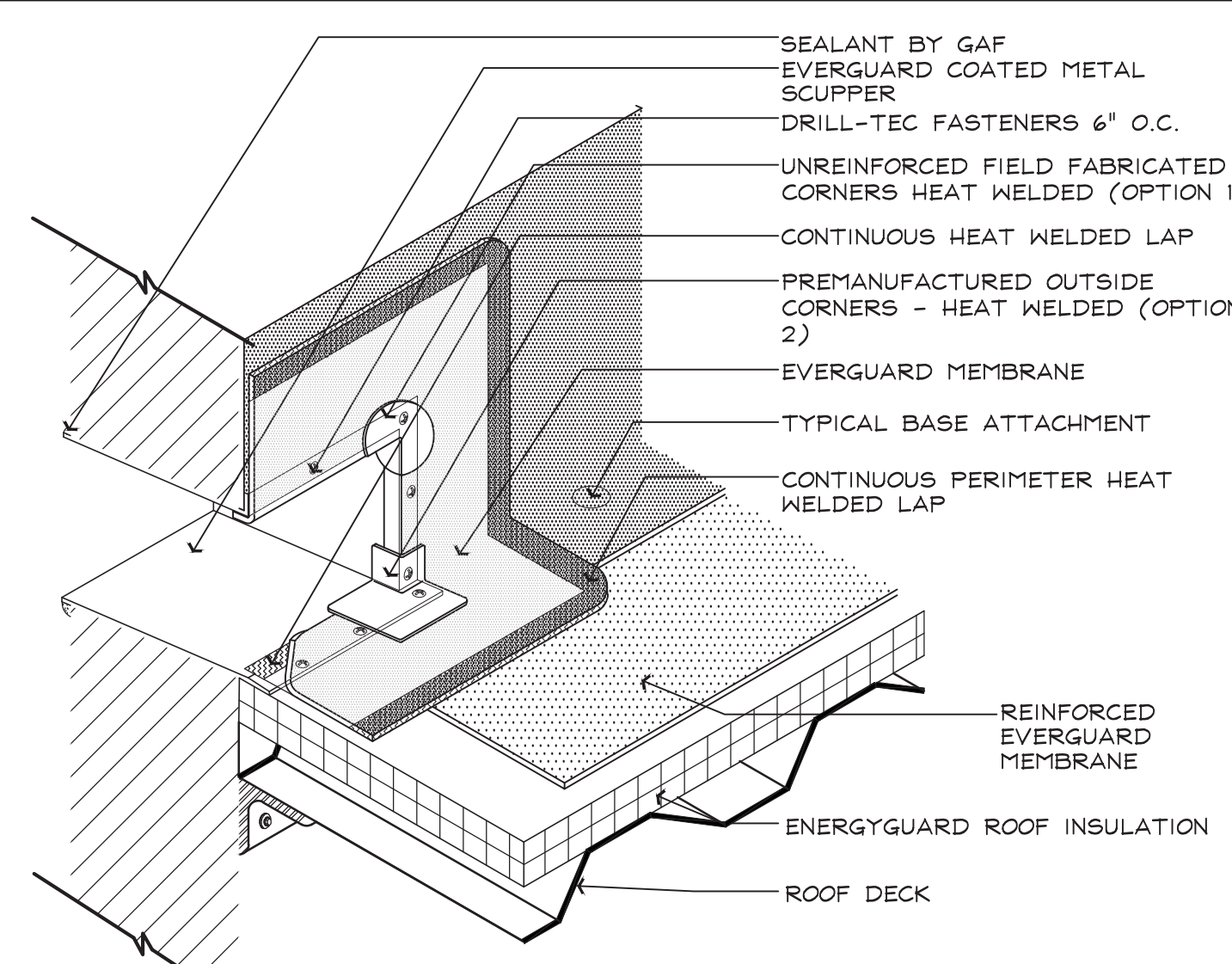


NOTE:

1. METAL COUNTERFLASHING IS NOT REQ. IF MEMBRANE IS RUN UP AND OVER CURB WALLS PRIOR TO INSTALLATION OF R.T.U.
2. INSTALL METAL WORK IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS.
3. PLATES & SCREWS 6" O.C. REQ'D FOR BA SYSTEMS.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11).

### 2 ROOF CURB SECTION

SCALE: N.T.S.

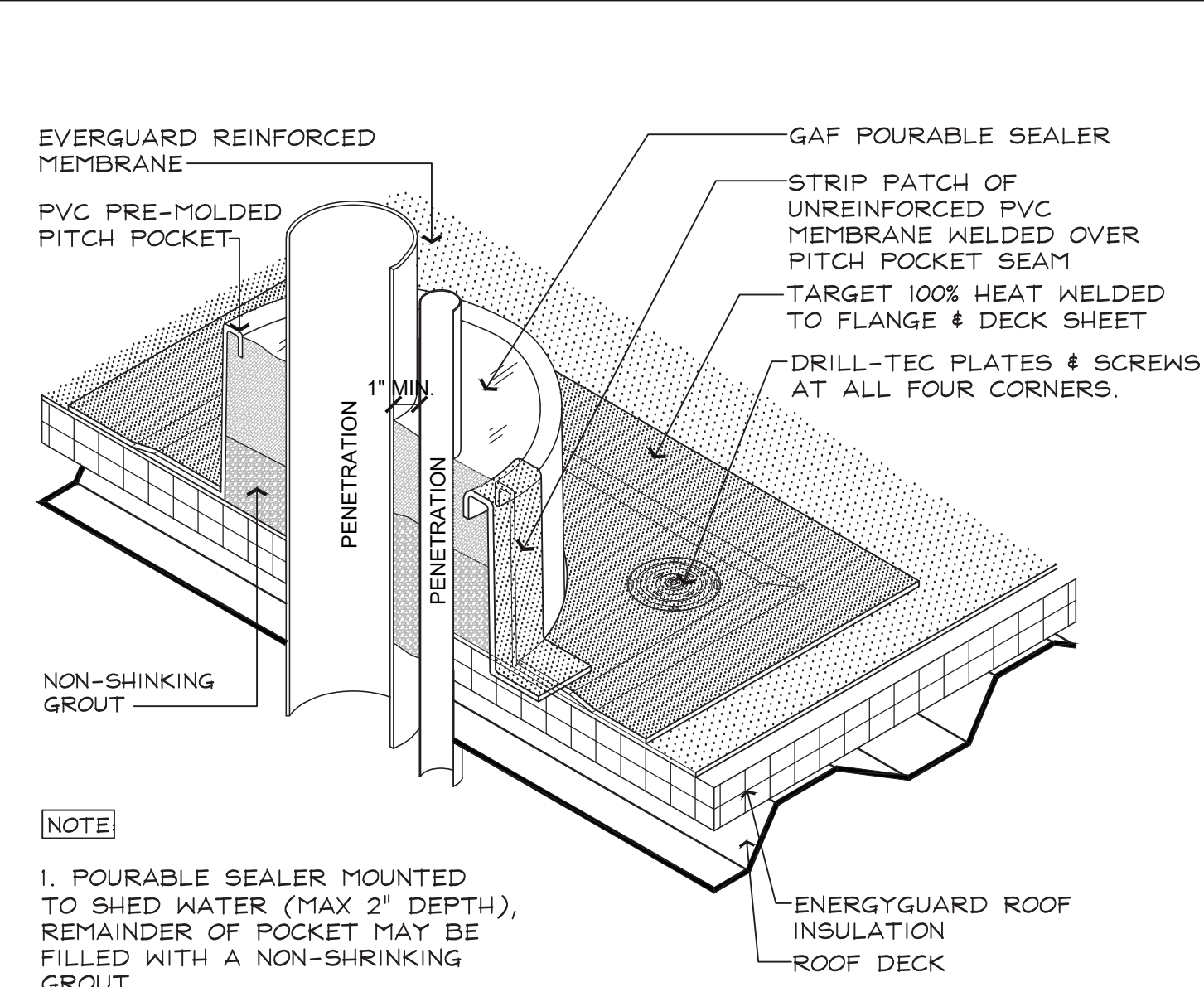


NOTE:

1. INSTALL EVERGUARD UNREINFORCED OR PREMANUFACTURED OUTSIDE CORNERS TO THE SCUPPERS' FOUR ROOF SIDE CORNERS.
2. OPTIONS 1 & 2 EITHER PRE-FAB OR FIELD FAB.
3. PLATES & SCREWS REQ'D FOR BASE ATTACHMENT 6" O.C. FOR BA SYSTEMS.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11) AS NEEDED.

### 3 SECTION DETAIL - SCUPPER

SCALE: N.T.S.

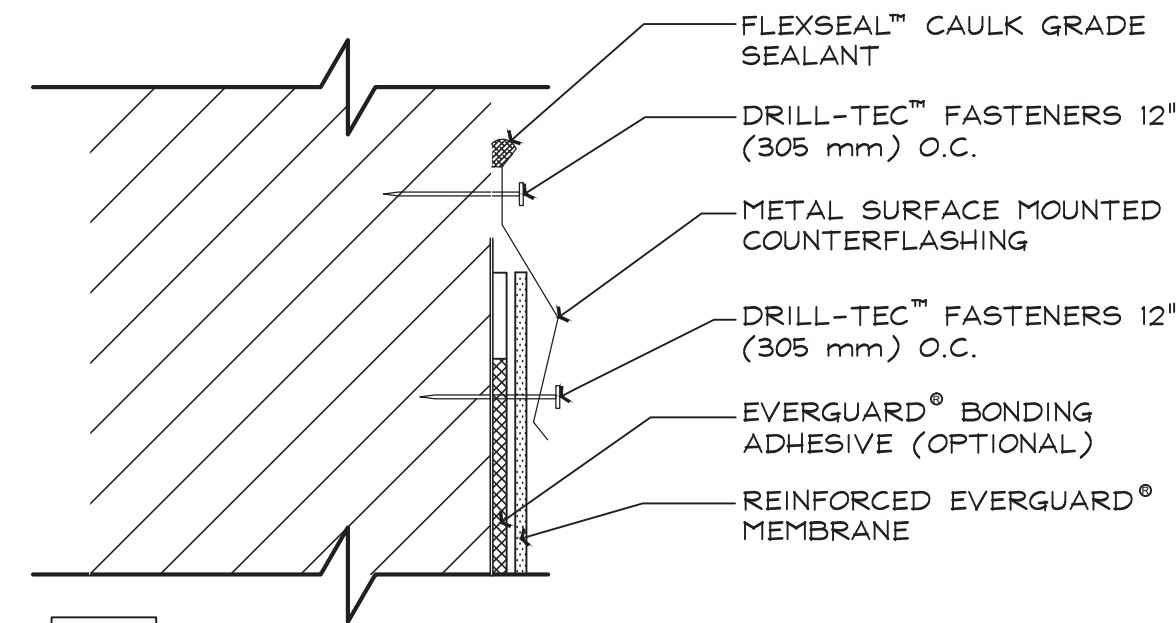


NOTE:

1. POURABLE SEALER MOUNTED TO SHED WATER (MAX 2" DEPTH), REMAINDER OF POCKET MAY BE FILLED WITH A NON-SHRINKING GROUT.

### 4 PITCH PAN DETAIL

SCALE: N.T.S.

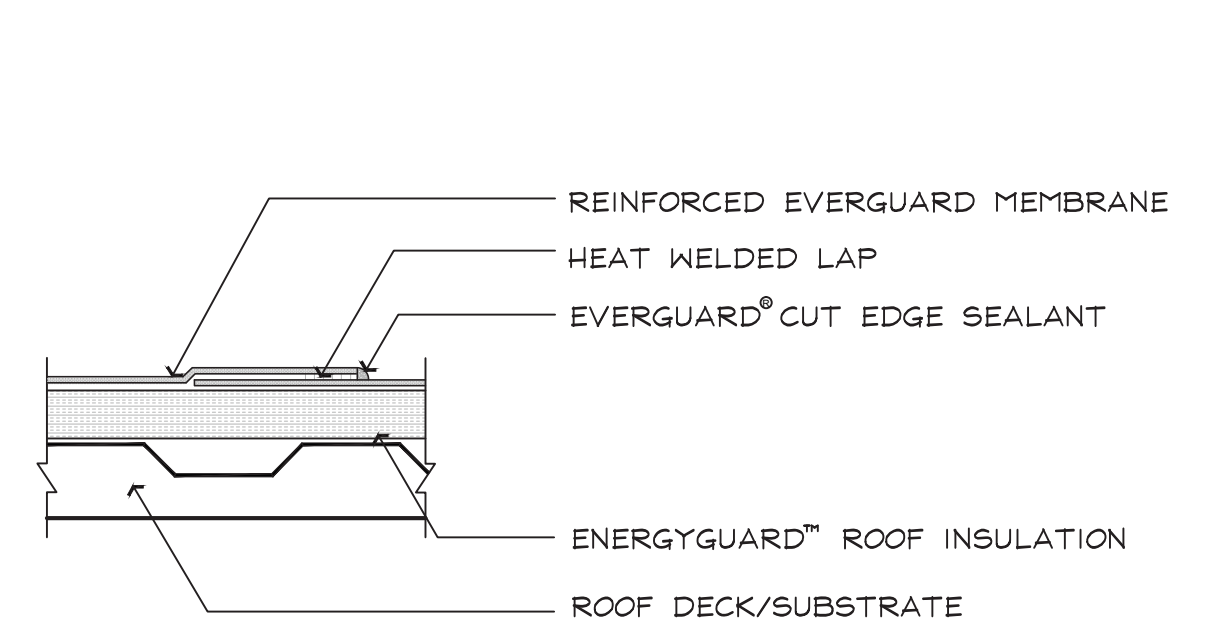


NOTE:

EXISTING COUNTERFLASHING MUST BE IN GOOD WORKABLE CONDITION AND TIGHT TO WALL.

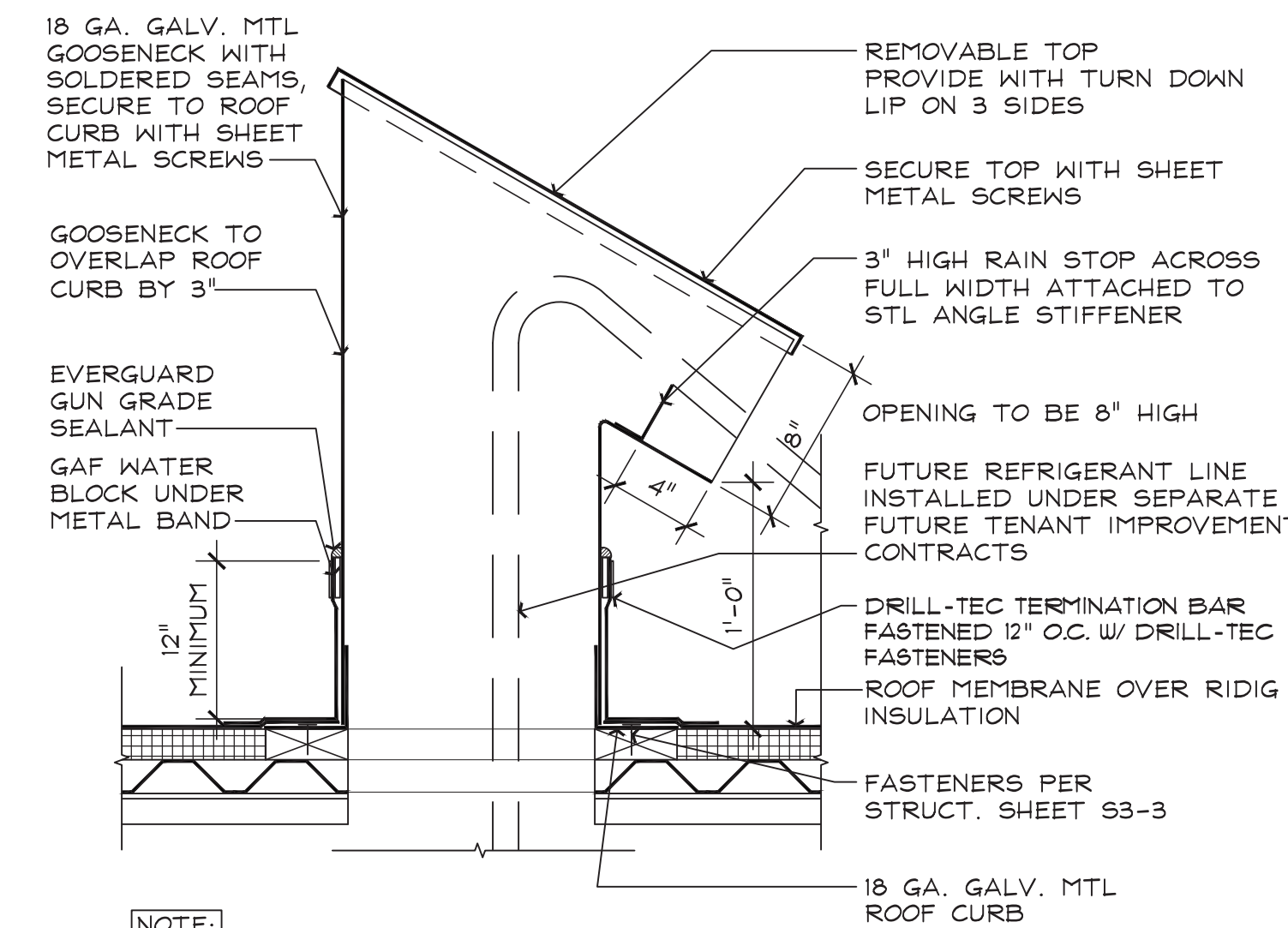
### 5 MECHANICAL TERMINATION DTL.

SCALE: N.T.S.



### 6 CUT EDGE SEALANT DETAIL

SCALE: N.T.S.

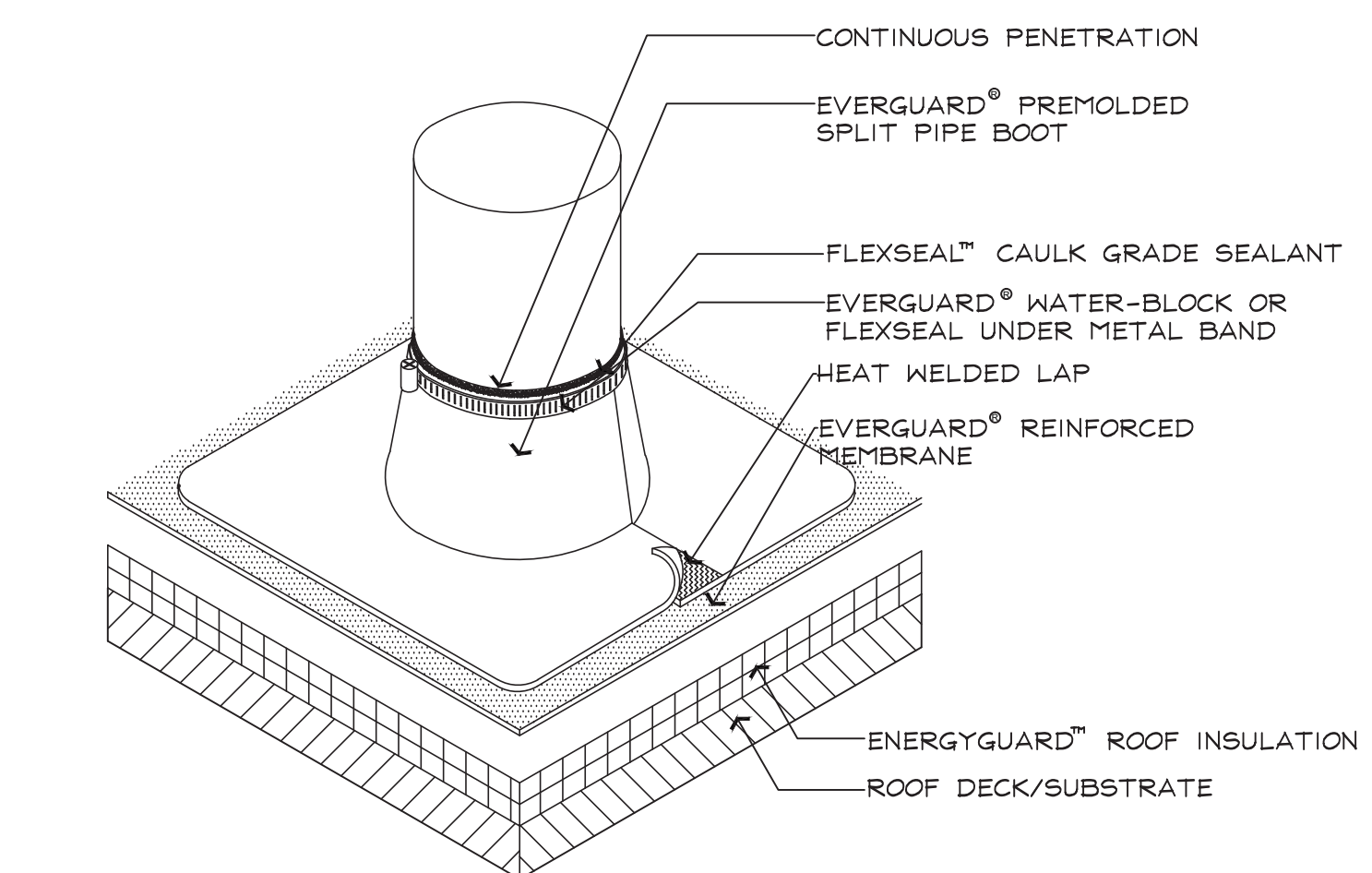


NOTE:

1. SEE 1/A5.1 FOR SIMILAR DETAIL

### 7 ROOF DETAIL - REF. PIPE HOOD

SCALE: N.T.S.

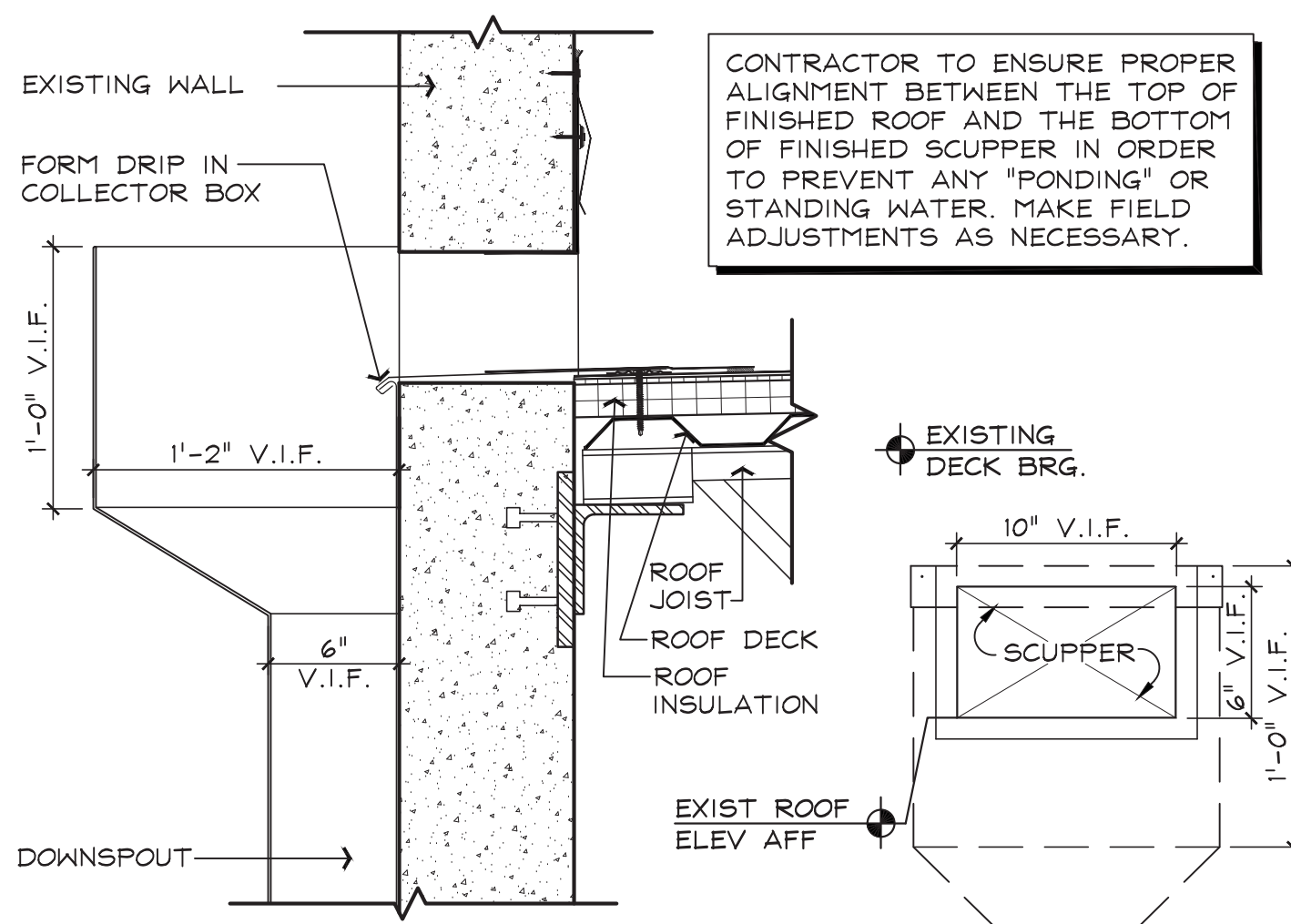


NOTES:

1. FOUR DRILL-TEC PLATES & SCREWS AROUND PENETRATION.
2. IF PLATES AND FASTENERS ENCRASH INTO THE SEAM AREA OF THE POCKET, THEN A TARGET MUST BE ADDED FIRST TO COVER FASTENERS.
3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES
4. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD DETAIL 115).

### 8 SPLIT PIPE BOOT DETAIL

SCALE: N.T.S.

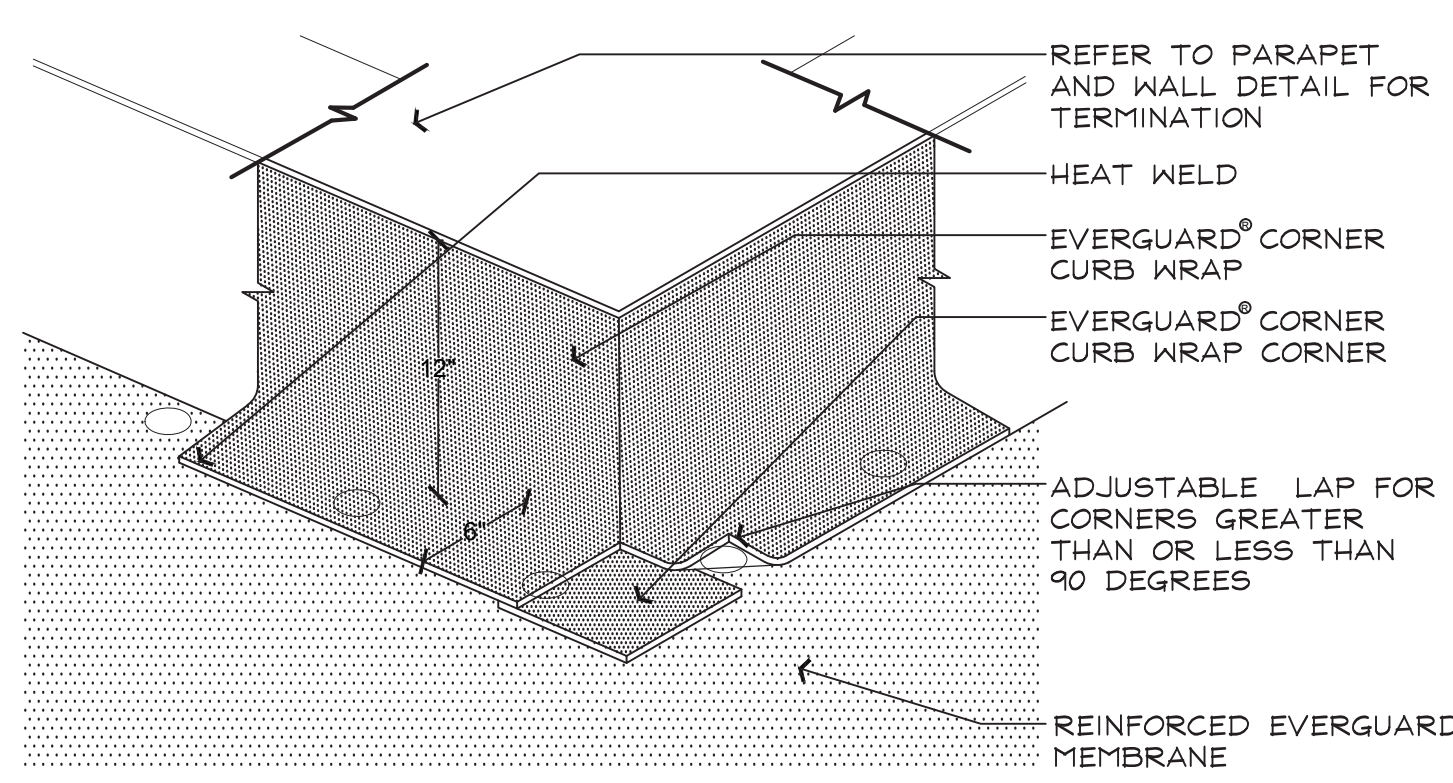


CONTRACTOR TO ENSURE PROPER ALIGNMENT BETWEEN THE TOP OF FINISHED ROOF AND THE BOTTOM OF FINISHED SCUPPER IN ORDER TO PREVENT ANY 'PONDING' OR STANDING WATER. MAKE FIELD ADJUSTMENTS AS NECESSARY.

PROVIDE FLASHING FOR SCUPPERS. SCUPPER FLASHING DETAILS SEE SMACNA FIG. 1-30A & FIG. 1-30B CONDUCTOR/COLLECTOR BOX SEE SMACNA FIG. 1-25F & 1-27A

### 9 SCUPPER DETAIL

SCALE: 1-1/2" = 1'-0"

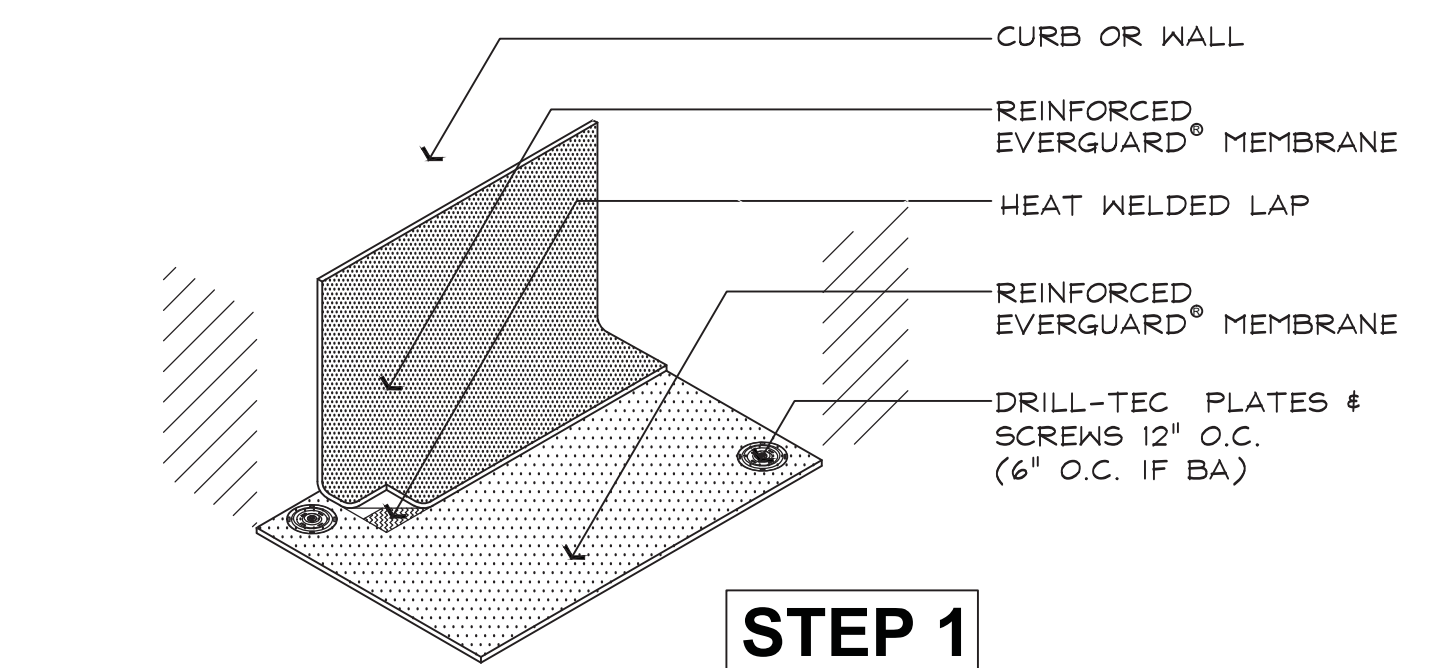


NOTE:

1. FOUR CORNER CURB WRAP PIECES ARE NEEDED TO COMPLETE. VARYING SIZES MAY BE NEEDED TO COMPLETE
2. INSTALLATION OF FASTENERS & PLATES 12" O.C. APPROXIMATELY 6" (150 mm) FROM CORNER.
3. FLASHINGS MAY BE ADHERED OR INSTALLED DRY. SEE SPEC FOR DIMENSIONS.
4. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO DETAIL 1/A5-11).

### 10 ROOF DETAIL - CURBS/CORNERS

SCALE: N.T.S.

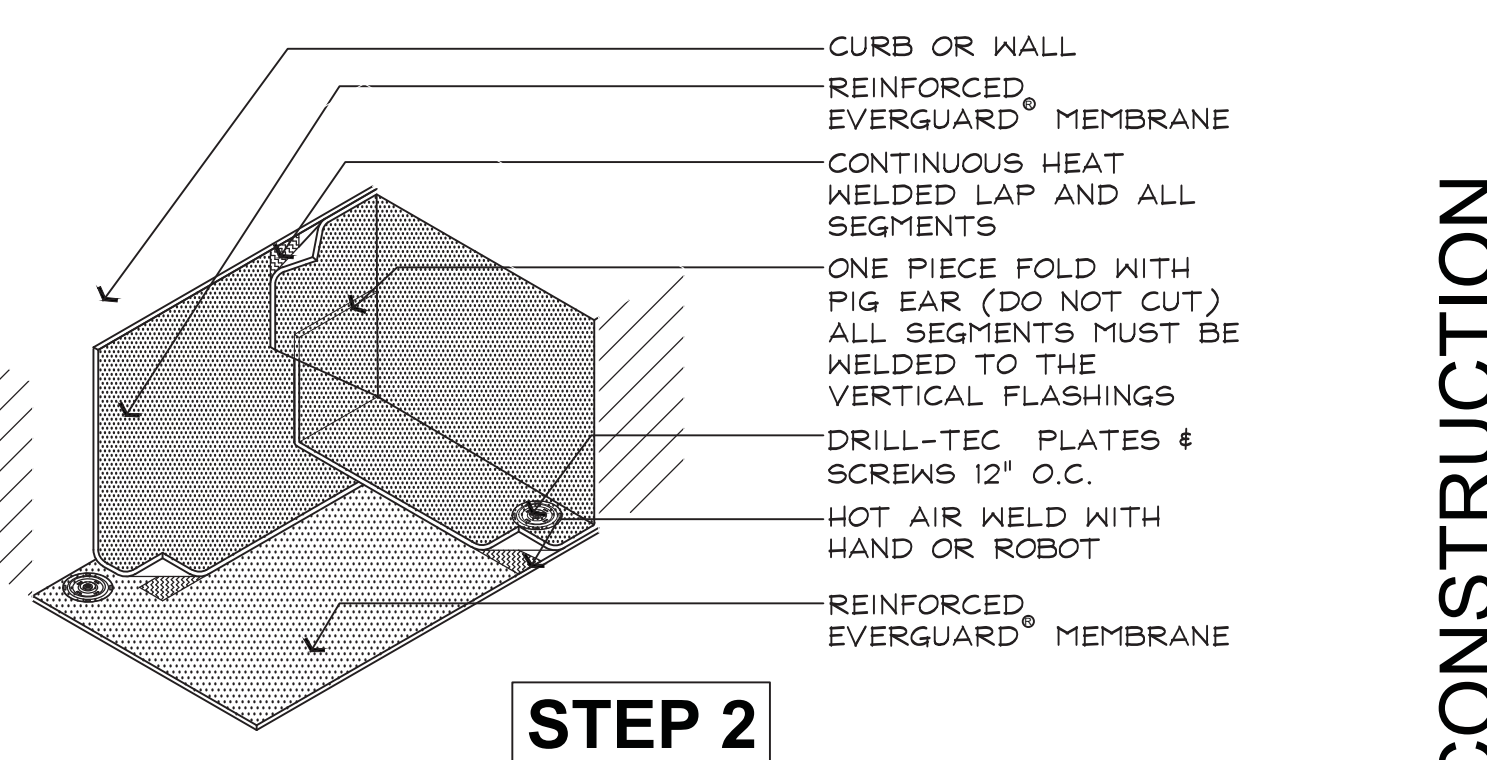


NOTE:

1. ALL SEGMENTS OF THE EAR MUST BE WELDED TOGETHER AND WELDED TO THE WALL
2. CHECK SYSTEM SPEC FOR GUIDELINES ON ADHERING FLASHINGS.
3. APPLY EVERGUARD TPO CUT AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11)

### 11 INSIDE CORNER FABRICATION

SCALE: N.T.S.



### ROOF DETAIL NOTE:

FOR ANY SPECIFIC ROOFING DETAILS NOT PROVIDED, ROOFING CONTRACTOR SHALL CONTACT ROOF MANUFACTURER

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JOB NO: 19017  
 DRAWN BY: EP  
 ISSUE DATE:  
 SHEET TITLE:  
 TYPICAL ROOF DETAIL  
 SHEET NUMBER:  
**A-108**

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JOB NO: 19017

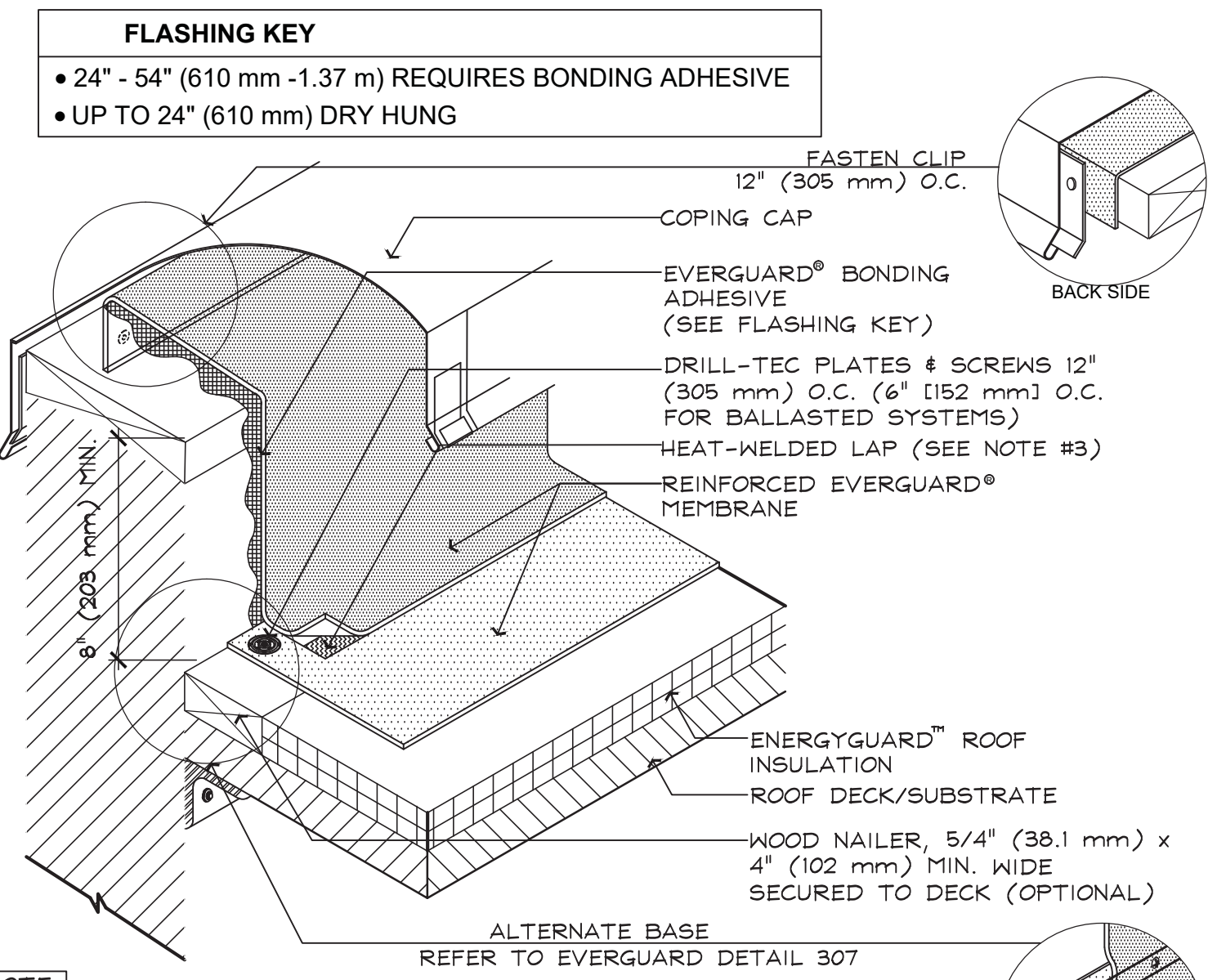
DRAWN BY: EP

ISSUE DATE:

SHEET TITLE:  
TYPICAL  
ROOF DETAIL

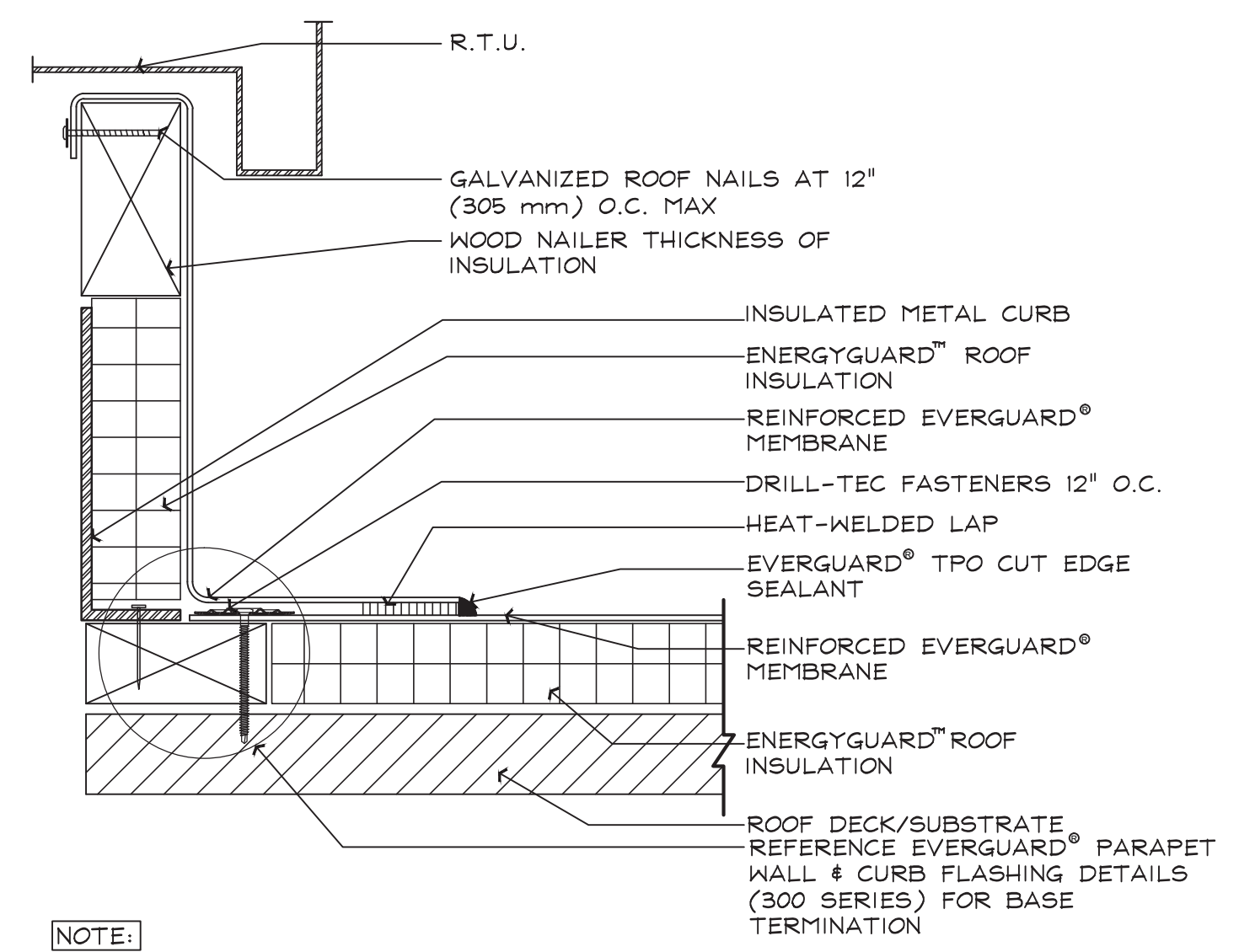
SHEET NUMBER  
**A-109**

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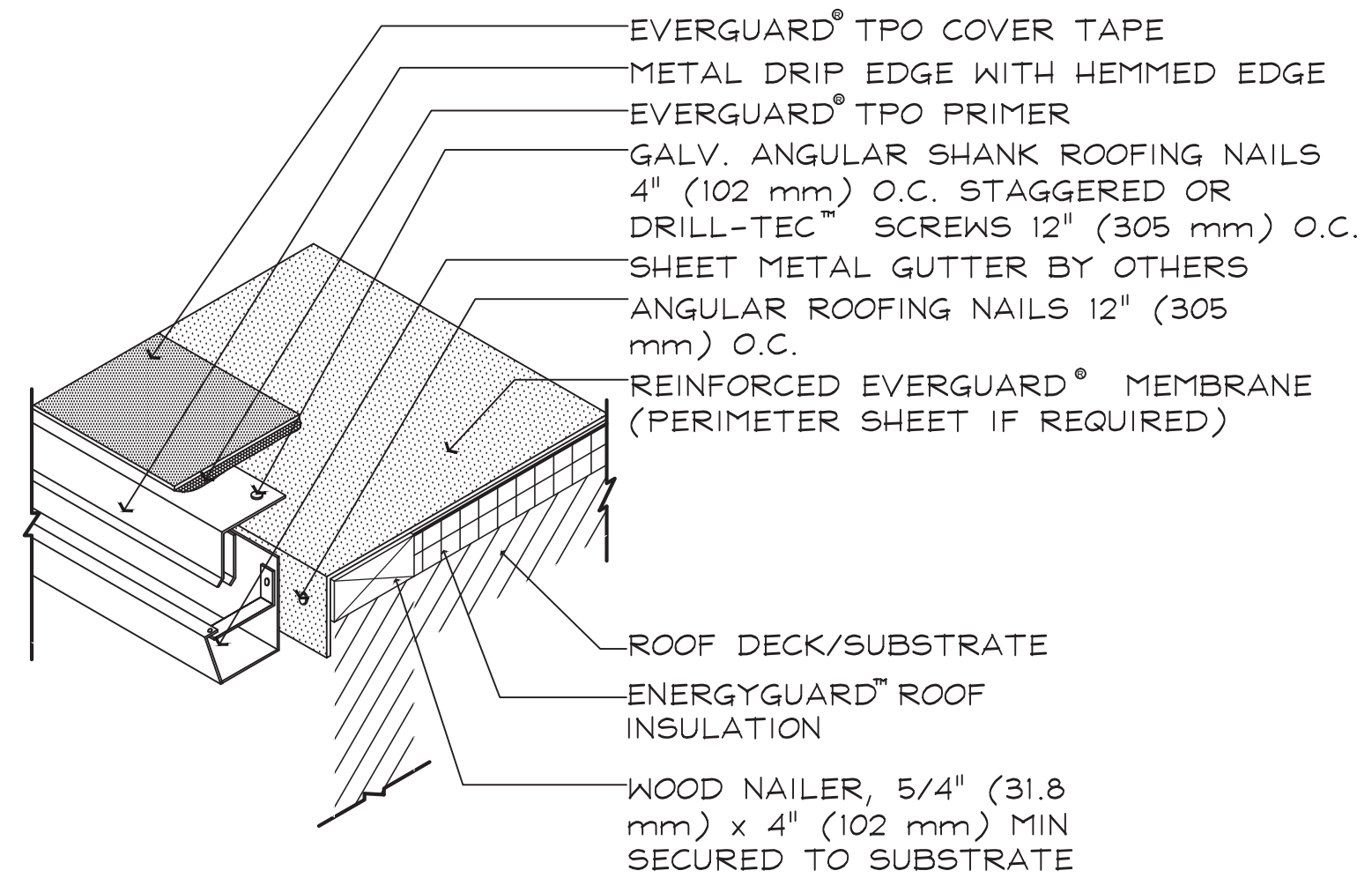
- FLASHING KEY**
- 24" - 54" (610 mm - 1.37 m) REQUIRES BONDING ADHESIVE
  - UP TO 24" (610 mm) DRY HUNG
- FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICALLY FASTENED SYSTEMS ONLY.
  - IF EVERGUARD<sup>®</sup> FREEDOM<sup>™</sup> MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED
  - APPLY EVERGUARD<sup>®</sup> TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD<sup>®</sup> DETAIL 115).
  - FOR SELF-ADHERED RAPIDSEAM<sup>™</sup> TECHNOLOGY SYSTEMS, SEE EVERGUARD<sup>®</sup> DETAIL 330 FOR LAP APPLICATION.

**1 WALL CAP DETAIL**  
 SCALE: N.T.S.



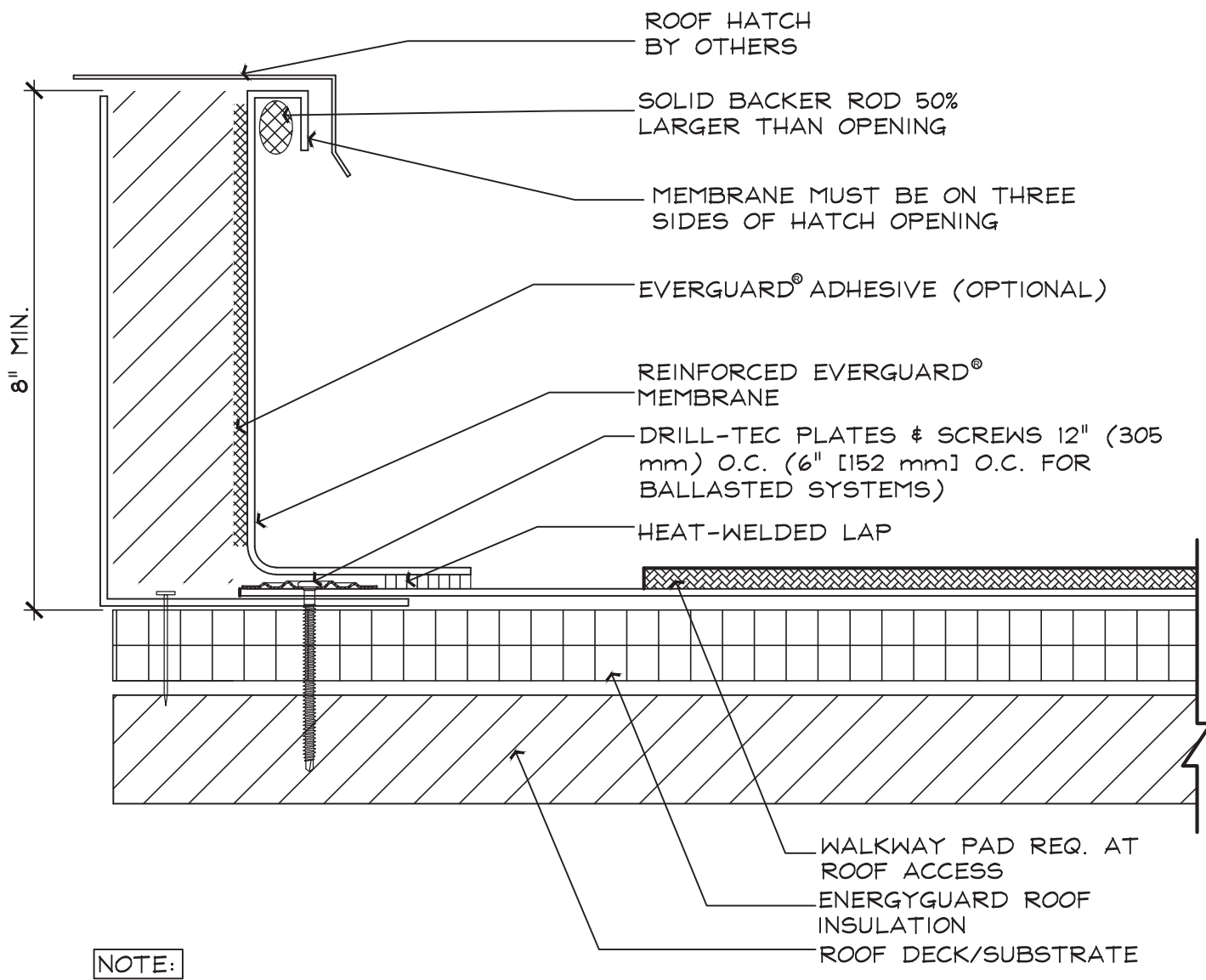
- FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
- FOR SELF-ADHERED RAPIDSEAM<sup>™</sup> TECHNOLOGY SYSTEMS, SEE EVERGUARD<sup>®</sup> DETAIL 330 FOR LAP APPLICATION.
- IF EVERGUARD<sup>®</sup> FREEDOM<sup>™</sup> MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED.
- APPLY EVERGUARD<sup>®</sup> TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD<sup>®</sup> DETAIL 115).

**4 TERMINATION @ R.T.U.**  
 SCALE: N.T.S.



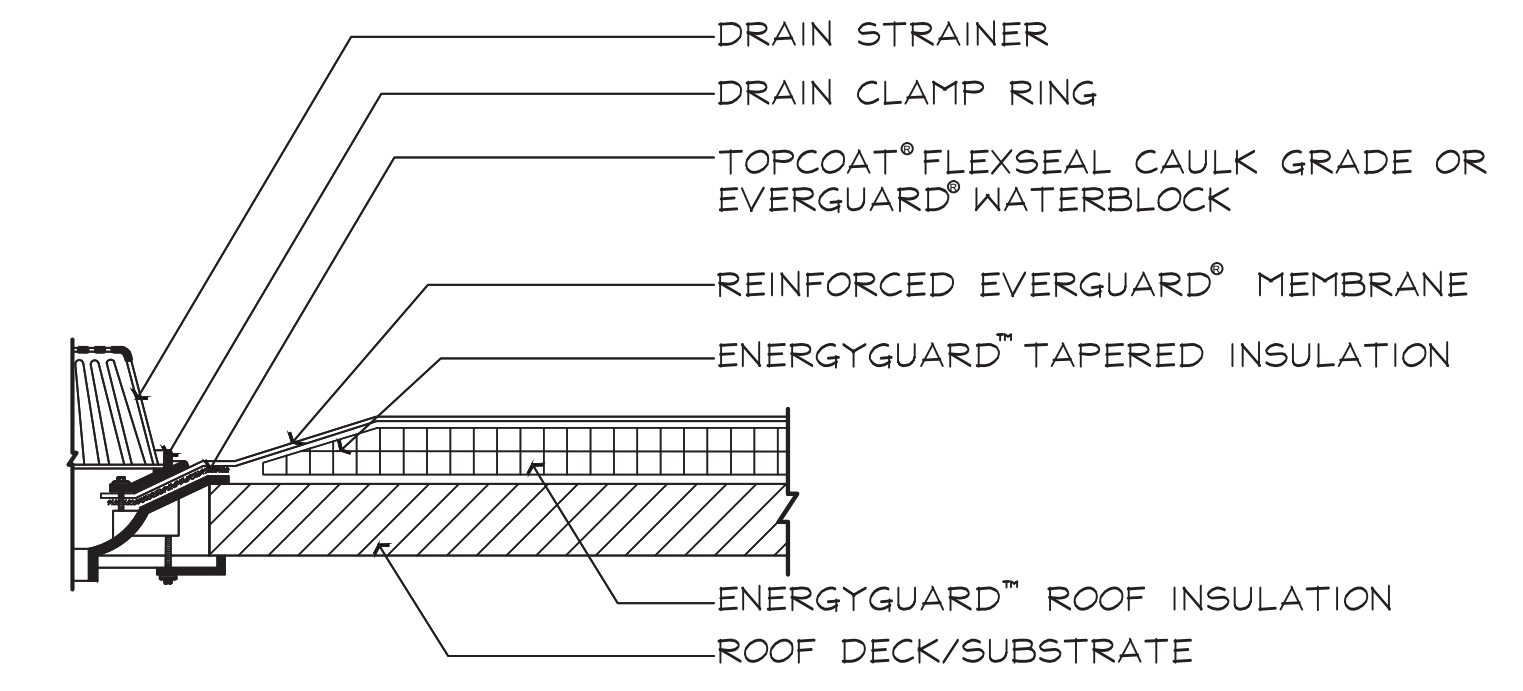
- CLEAN METAL AND MEMBRANE WITH EVERGUARD<sup>®</sup> TPO SEAM CLEANER AND ALLOW TO DRY BEFORE PRIMING.
- EVERGUARD<sup>®</sup> TPO COVER TAPE ONLY TO BE USED WITH TPO MEMBRANE SYSTEMS
- FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICALLY FASTENED SYSTEMS ONLY.
- APPLY EVERGUARD<sup>®</sup> TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD<sup>®</sup> DETAIL 115).

**2 COVER TAPE AT GUTTER EDGE DTL.**  
 SCALE: N.T.S.



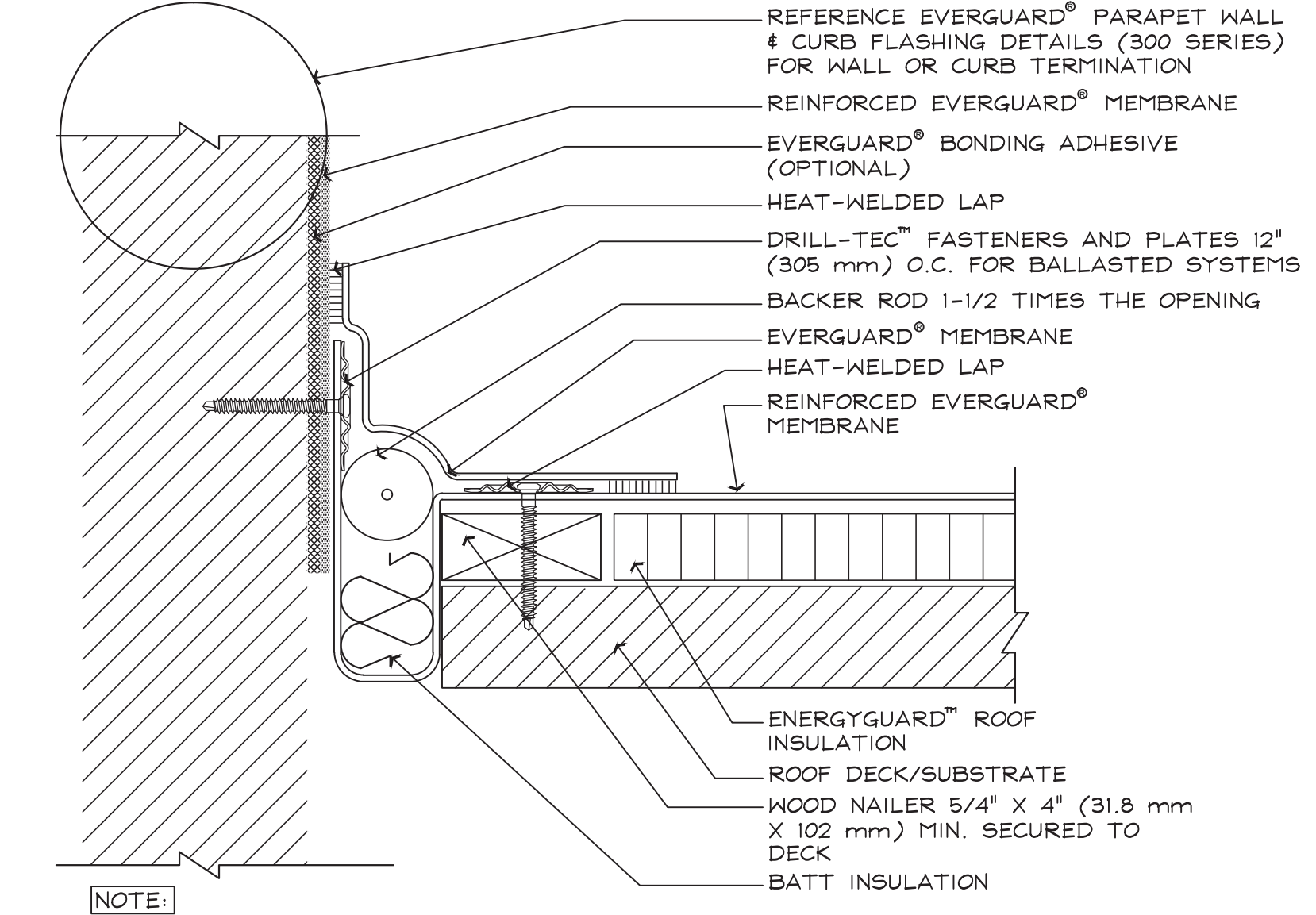
- FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
- IF EVERGUARD<sup>®</sup> FREEDOM<sup>™</sup> MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED.
- FOR SELF-ADHERED RAPIDSEAM<sup>™</sup> TECHNOLOGY SYSTEMS, SEE EVERGUARD<sup>®</sup> DETAIL 330 FOR LAP APPLICATION.
- APPLY EVERGUARD<sup>®</sup> TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD<sup>®</sup> DETAIL 115).

**5 ROOF HATCH DETAIL**  
 SCALE: N.T.S.



- A FIELD WELD CANNOT PASS WITHIN 9" (227 mm) OF THE CLAMPING, OR WITHIN THE DRAIN SUMP ITSELF.
- MEMBRANE MUST EXTEND MINIMUM 1" (25.4 mm) BEYOND THE BOLT HOLES. THE CLAMPING RING BOLTS MUST PENETRATE THE MEMBRANE.
- TAPERED INSULATION TO CREATE A ROOF SUMP MINIMUM 36" (0.914 m) x 36" (0.914 m) IN SIZE. (IF APPLICABLE)
- USE ONE FULL TUBE OF FLEXSEAL<sup>™</sup> CAULK GRADE SEALANT OR EVERGUARD<sup>®</sup> WATER BLOCK PER DRAIN.
- ASPHALT OR STONE PAVER MUST STOP AT DRAIN TAPER.

**3 STANDARD ROOF DRAIN FLASHING DTL.**  
 SCALE: N.T.S.



- FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
- FIELD-FABRICATED EXPANSION JOINT SHOULD USE A SMOOTH BACKED MEMBRANE.
- APPLY EVERGUARD<sup>®</sup> TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD<sup>®</sup> DETAIL 115).

**6 FIELD FABRICATED WALL EXPANSION. JOINT DTL.**  
 SCALE: N.T.S.

**ROOF DETAIL NOTE:**  
 FOR ANY SPECIFIC ROOFING DETAILS NOT PROVIDED, ROOFING CONTRACTOR SHALL CONTACT ROOF MANUFACTURER